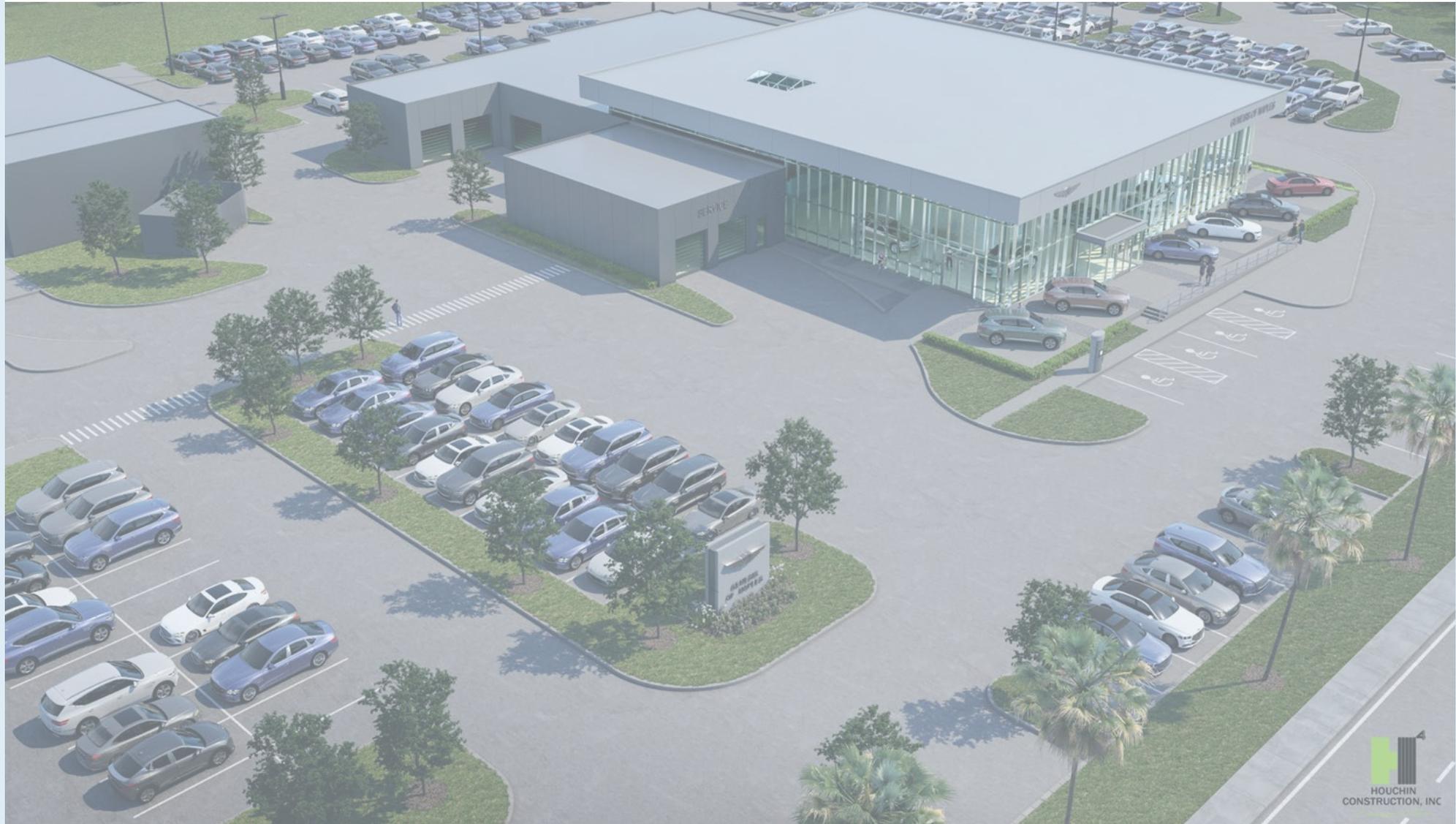


GENESIS COMMERCIAL PLANNED UNIT DEVELOPMENT



Neighborhood Information Meeting 8.31.2023

PROJECT TEAM



Planning
Jessica Harrelson, AICP

Engineering
Josh Fruth



Land Use Attorney
Richard Yovanovich, Esq.



Traffic Consultant
Norman Trebilcock, P.E., AICP

REQUEST

- **Rezone the subject property from the Clesen PUD and Estates to the Genesis Commercial Planned Unit Development**
- **To permit a maximum of 65,000 SF of a new and used car dealership and/or other commercial uses**

LOCATION MAP

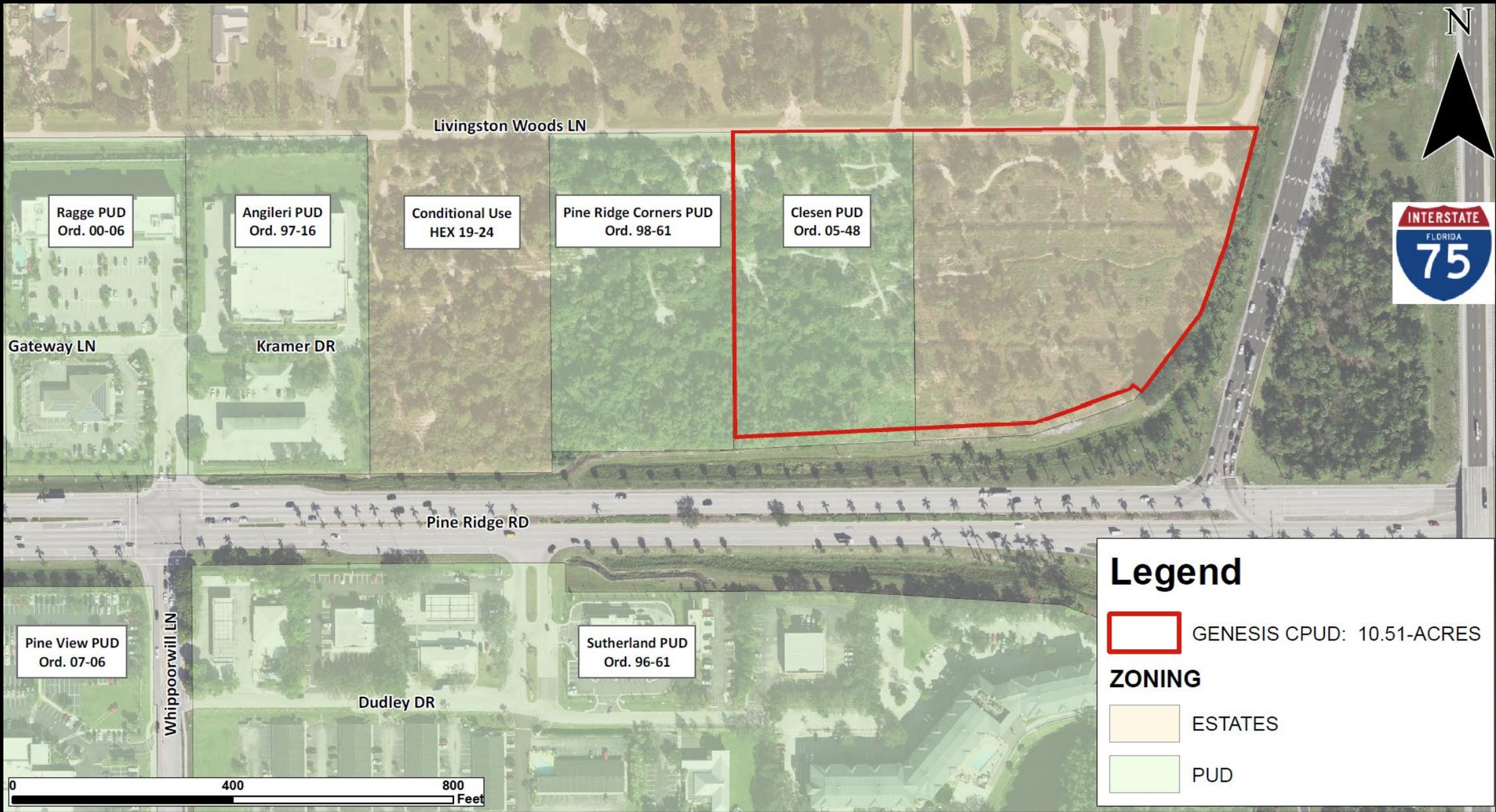
Legend



Genesis CPUD: 10.51-acres

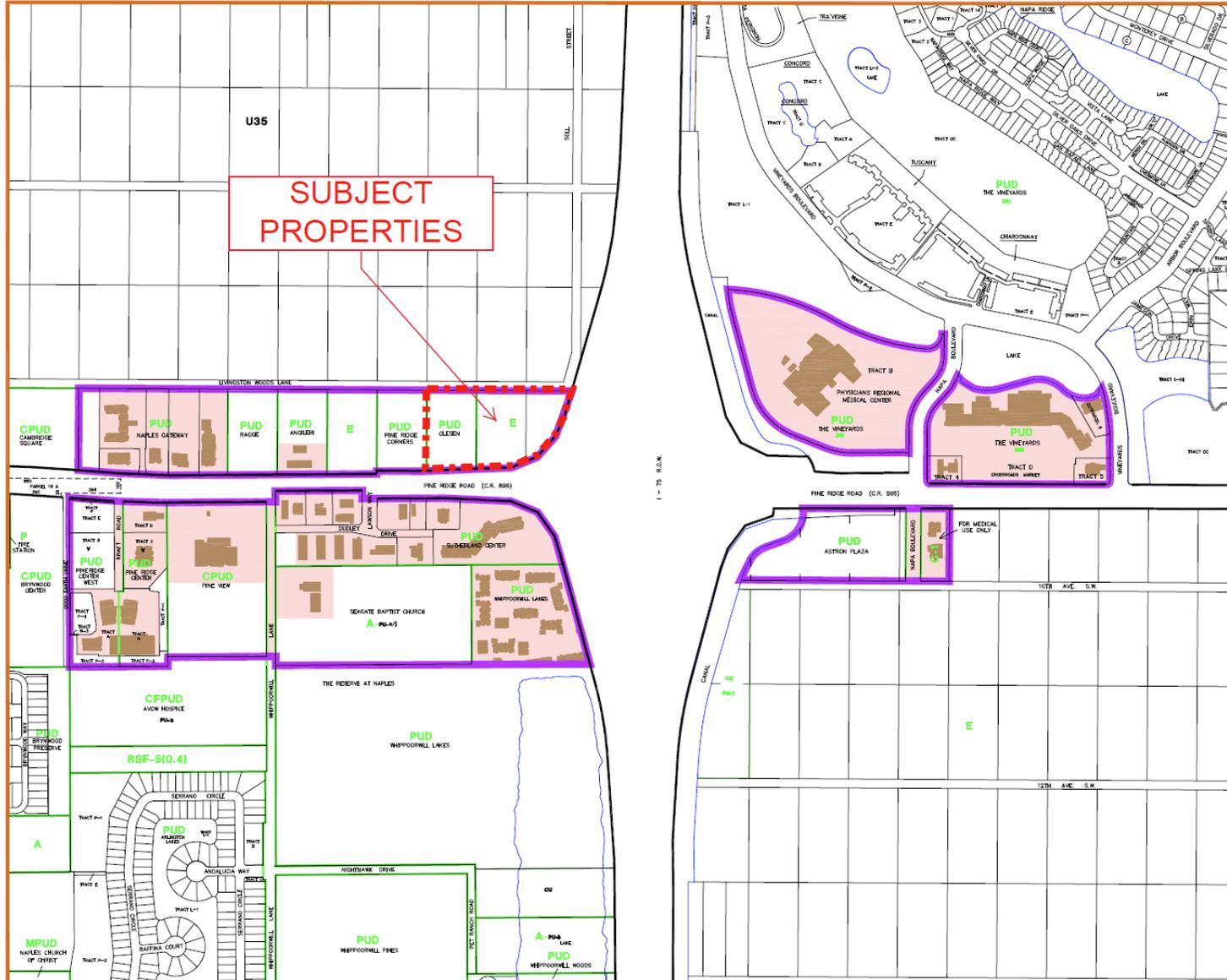


ZONING EXHIBIT



INTERCHANGE ACTIVITY CENTER #10

ACTIVITY CENTER #10
 PINE RIDGE ROAD (C.R. 896) - INTERSTATE - 75
 Collier County, Florida



AMENDED - SEPTEMBER 13, 2011
 (Ord. No. 2011-26)
 AMENDED - JUNE 13, 2017
 (Ord. No. 2017-22)

LEGEND

- ACTIVITY CENTER BOUNDARY
- RSF-3** EXISTING ZONING
 (NOTE: PROVIDED FOR INFORMATIONAL PURPOSES ONLY; THE OFFICIAL SOURCE OF ZONING INFORMATION IS THE ZONING ATLAS SET, WHICH IS PART OF THE COLLIER COUNTY LAND DEVELOPMENT CODE, ORDINANCE NO. 04-41, AS AMENDED.)
- DEVELOPED LAND USE
 (NOTE: DEVELOPED LAND USE, EXISTING BUILDINGS AND STRUCTURES COMPILED FROM 2015 AERIAL PHOTO.)
- EXISTING BUILDINGS AND STRUCTURES

SCALE
 0 600 FT.

PREPARED BY: GIS/CAD MAPPING SECTION
 GROWTH MANAGEMENT DEPARTMENT
 FILE: AC10-2018.DWG DATE: 1/2018

EXISTING PERMITTED LAND USES

CLESEN PUD

1. Apparel and Accessory Stores
2. Banks
3. Eating Places/restaurants
4. Food Stores (no convenience stores)
5. General merchandise stores
6. Health services
7. Furniture & equipment stores
8. Hotels and motels
9. Insurance agents, brokers & services
10. Legal services
11. Miscellaneous retail stores
12. Paint & wallpaper stores
13. Personal services
14. Professional offices, medical offices
15. Real estate agents & managers
16. Travel agencies
17. Video tape rentals

ESTATES ZONING DISTRICT

1. Single-family dwelling units
2. Family care facilities
3. Essential services
4. Educational plants

PROPOSED PERMITTED USES

TRACT A

1. **Automotive Vehicle Dealers**
2. Any other principal use, which is comparable in nature with the foregoing list of permitted principal uses, as determined by the Hearing Examiner (HEX) or the Board of Zoning Appeals ("BZA") by the process outlined in the LDC.

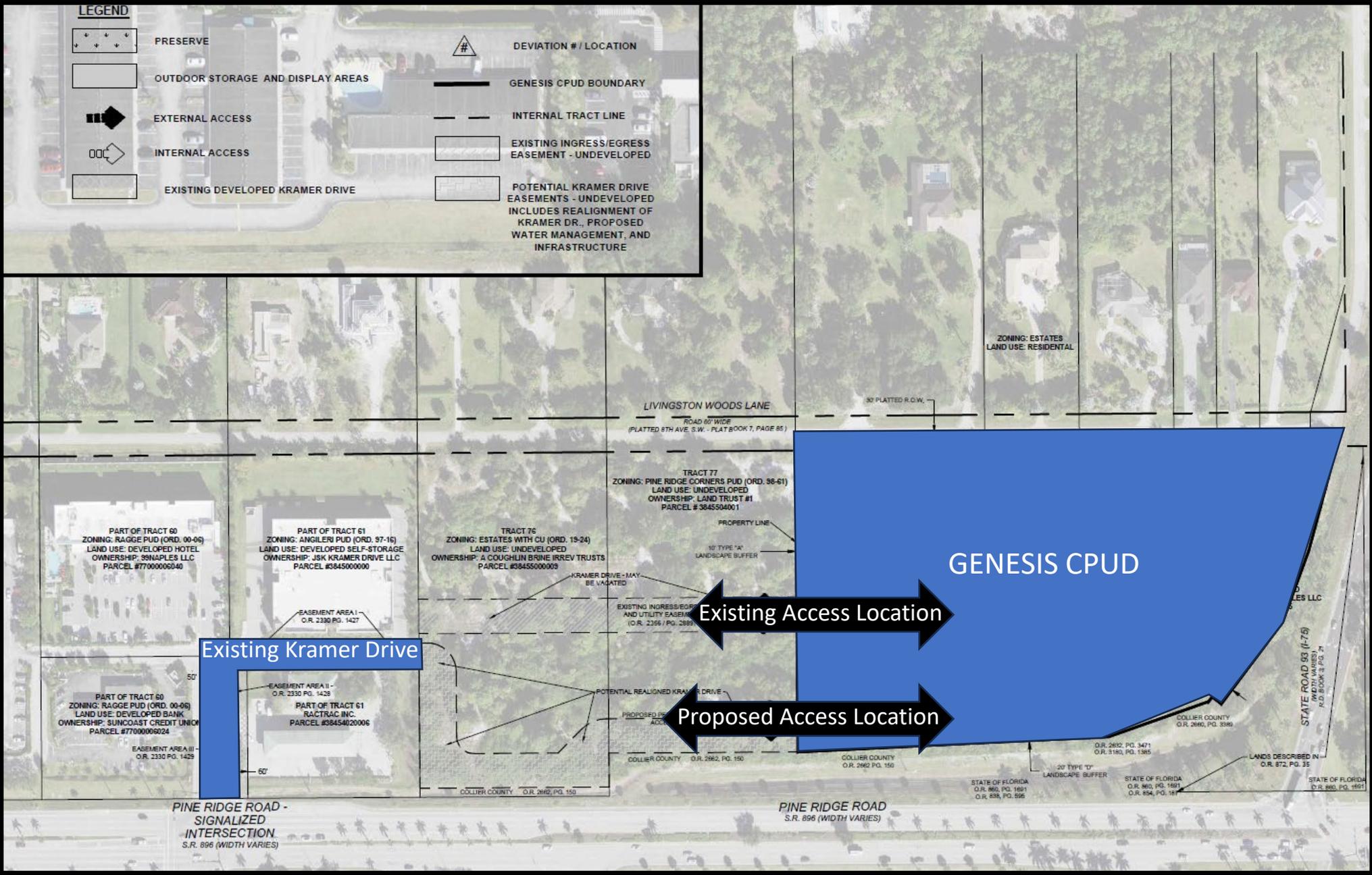
TRACT B

1. **Accident & Health Insurance Services (6321)**
2. **Advertising Agencies (7311)**
3. **Amusement and Recreation Services, indoor (7999, limited to the uses listed below. Any uses not listed below for SIC 7999 are prohibited.)**
 - a. gymnastics instruction
 - b. judo instruction
 - c. karate instruction
 - d. yoga instruction
4. Apparel and Accessory Stores (5611-5661 and 5699, limited to the uses listed below. Any uses not listed below for SIC 5699 are prohibited.)
 - a. Bathing suit stores-retail
 - b. Custom tailors-retail
 - c. Dresses made to order-retail
 - d. Dressmakers' shops, custom-retail
 - e. Merchant tailors-retail
 - f. Shirts custom made-retail
 - g. Sports apparel stores-retail
 - h. Tee shirts custom printed-retail
 - i. Uniforms-retail

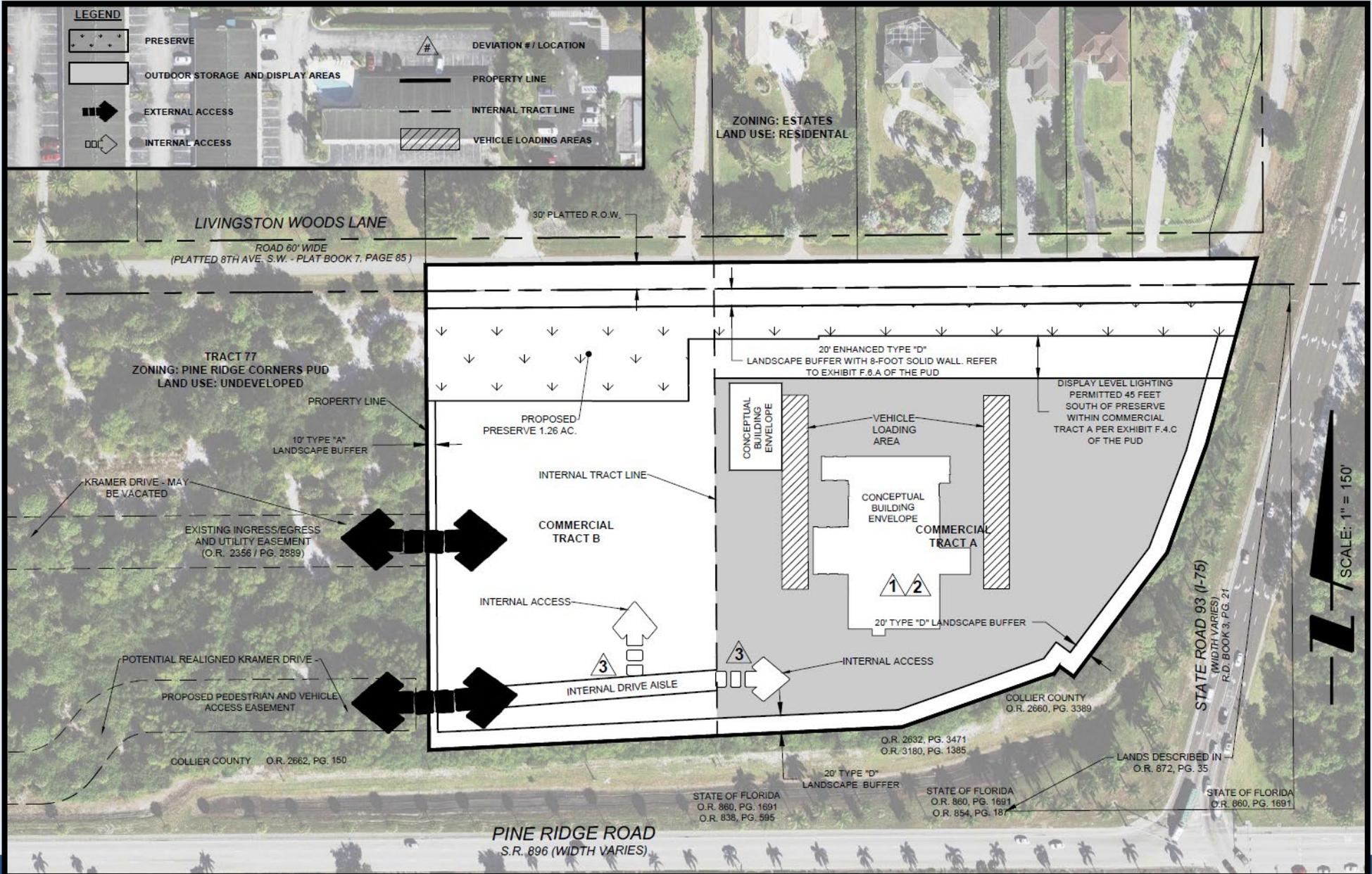
5. Auto and Home Supply Stores (5531)

6. Banks, credit unions and trusts (6011-6091)
7. Eating Places (5812, except restaurants with drive through facilities)
8. Food Stores (5411, except convenience stores)
9. Food Stores, Miscellaneous (5499, limited to the uses listed below. Any uses not listed below for SIC 5499 are prohibited.)
 - a. Coffee stores-retail
 - b. Dietetic food stores-retail
 - c. Health food stores-retail
 - d. Vitamin food stores-retail
10. General Merchandise Stores (5311)
11. Health Services (8011-8049,8082)
12. Home Furniture, Furnishings and Equipment Stores (5712-5736)
13. Insurance Agents, Brokers, and Services (6411)
14. Legal Services (8111)
15. Miscellaneous Retail (5912, 5941, 5942, 5946, 5992, 5994 and 5995)
16. Organizations: Political, Professional and Membership, Miscellaneous (8611-8661)
17. Paint and Wallpaper Stores (5231, except glass stores)
18. Personal Services (7212 dry-cleaning and laundry pickup stations only, 7215, 7217, 7219-7261 except crematories, 7291)
19. Professional Offices, Medical Offices, and Management Consulting Services (8711-8748)
20. Real Estate Agents and Managers (6531)
- 21. Retail Bakeries (5461)**
- 22. Veterinary Services (0742)**

ACCESS



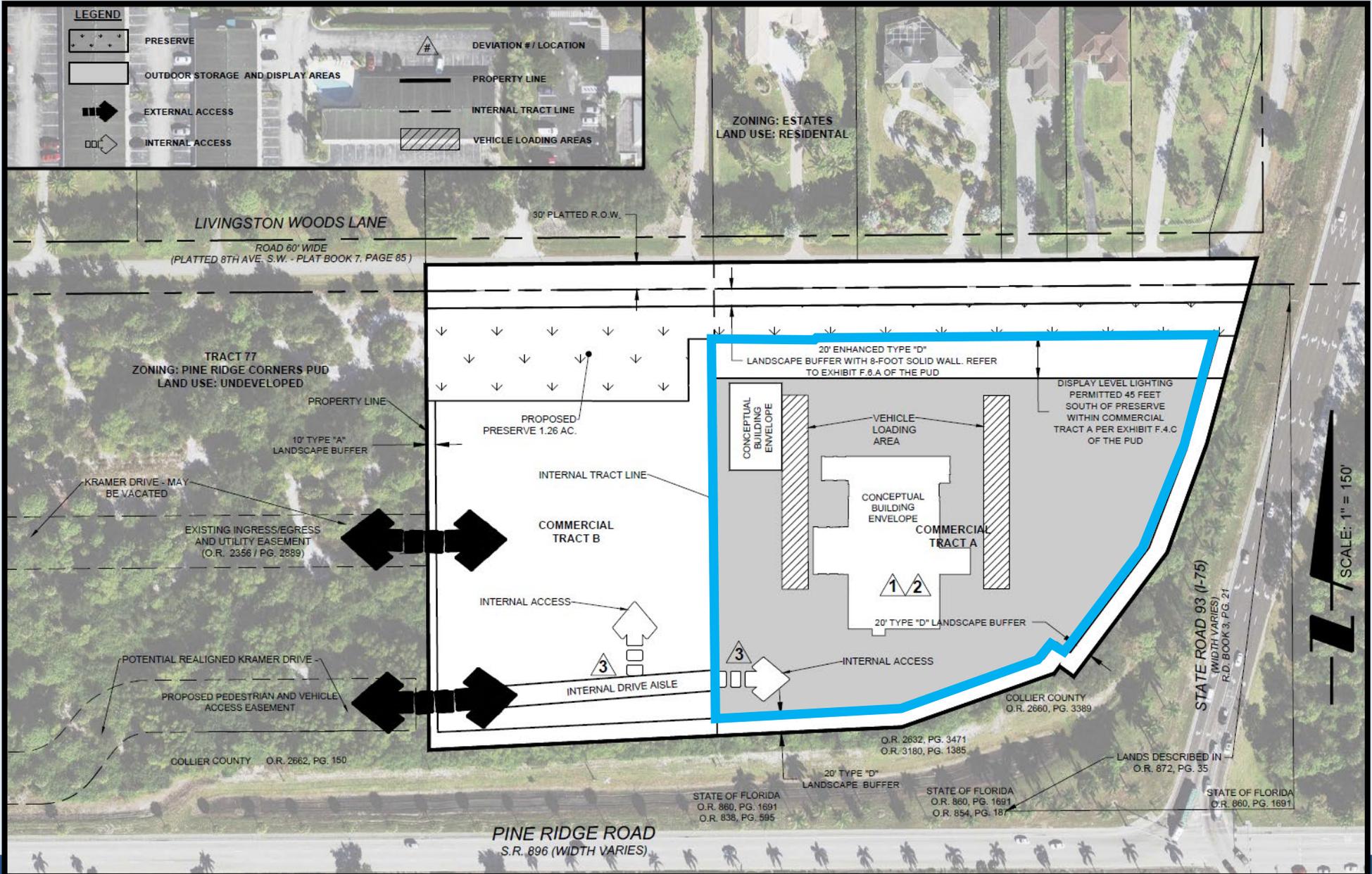
PUD MASTER PLAN



- Two (2) Development Tracts
- Maximum of 65,000 SF

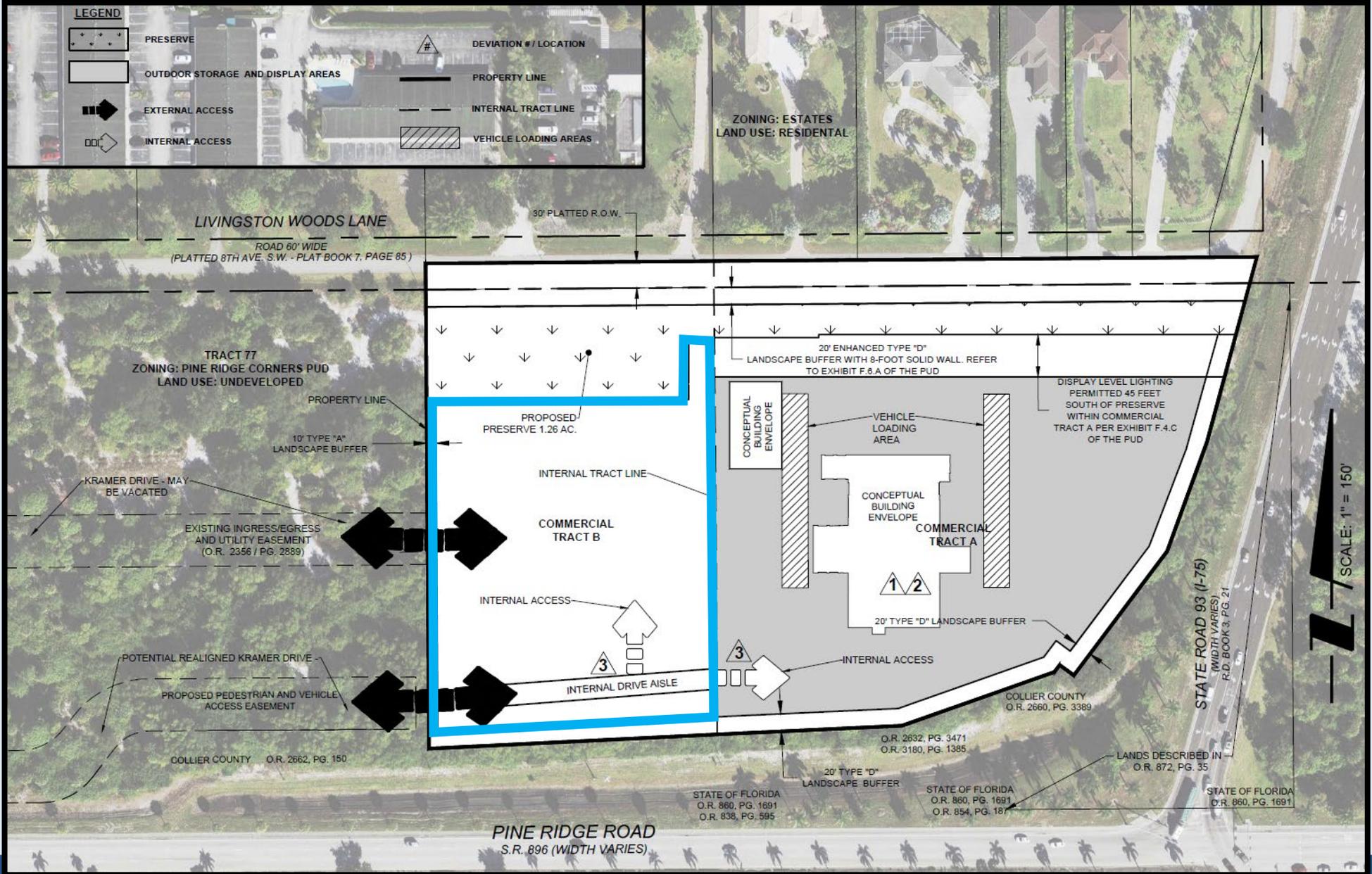
PUD MASTER PLAN

Tract A



PUD MASTER PLAN

Tract B



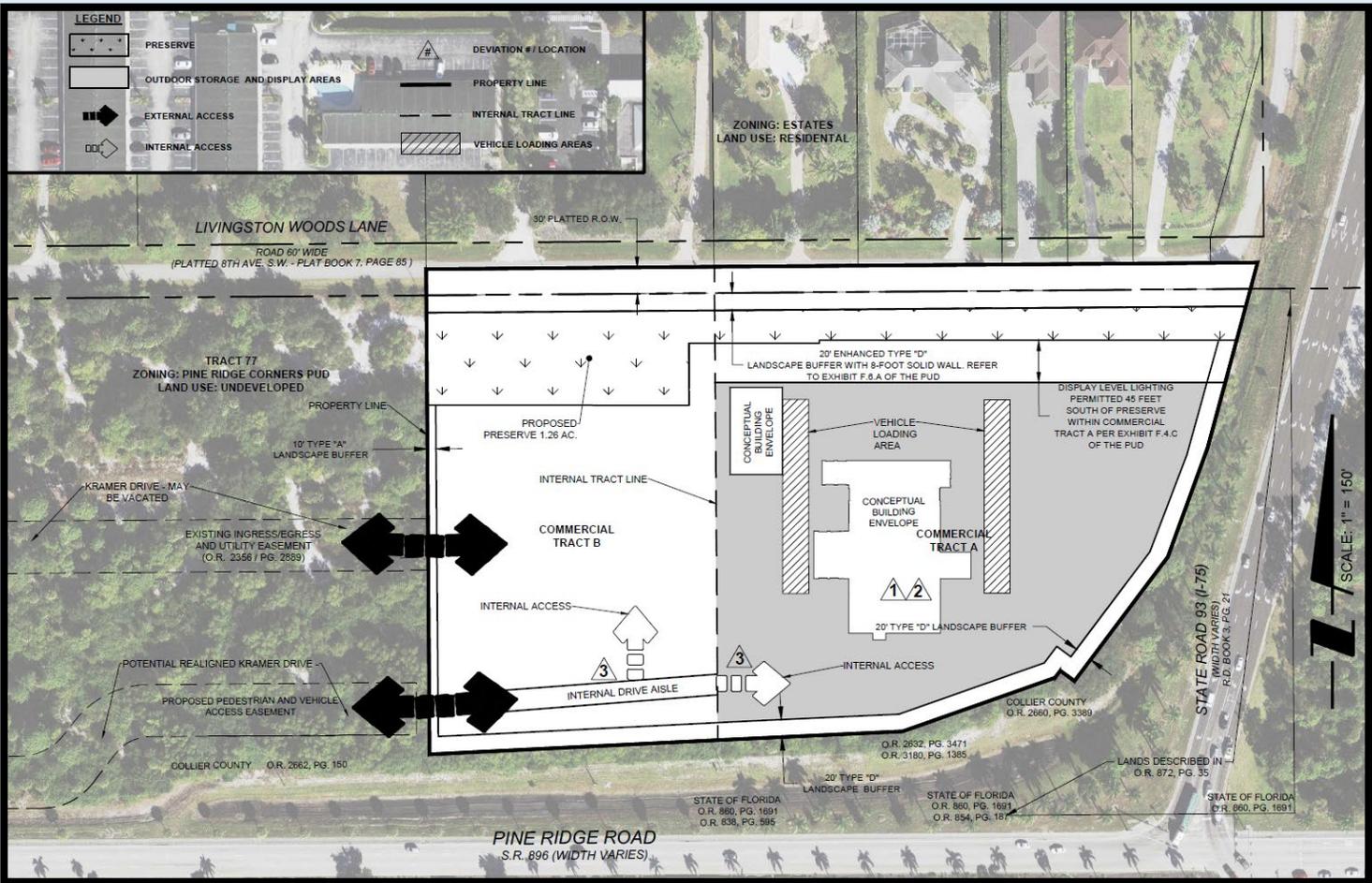


TABLE I
DEVELOPMENT STANDARDS

DEVELOPMENT STANDARDS	PRINCIPAL USES	ACCESSORY USES ¹
MINIMUM LOT AREA	10,000 SF	N/A
MINIMUM LOT WIDTH	75 FEET	N/A
MINIMUM SETBACKS (EXTERNAL)		
FRONT YARD: (FROM SOUTHERN PUD BOUNDARY)	25 FEET	20 FEET
FRONT YARD: (FROM EASTERN PUD BOUNDARY)	25 FEET	20 FEET
FRONT YARD: (FROM NORTHERN PUD BOUNDARY)	82.5 FEET	82.5 FEET
SIDE YARD: (FROM WESTERN PUD BOUNDARY)	15 FEET	10 FEET
MINIMUM SETBACKS (INTERNAL)		
INTERNAL DRIVES/ROWS (measured from edge of pavement)	10 FEET	10 FEET
INTERNAL PROPERTY LINES/TRACT LINES	0 FEET	0 FEET
PRESERVE	25 FEET	10 FEET
MAXIMUM BUILDING HEIGHT		
ZONED	35 FEET, limited to three-stories	SPS
ACTUAL	45 FEET, limited to three-stories	SPS
MINIMUM DISTANCE BETWEEN STRUCTURES	20 FEET	10 FEET

¹Accessory carwash to the automotive vehicle dealership is subject to the additional development standards and criteria in LDC Section 5.05.11.

Development Standards

NORTHERN LANDSCAPE BUFFER DETAILS

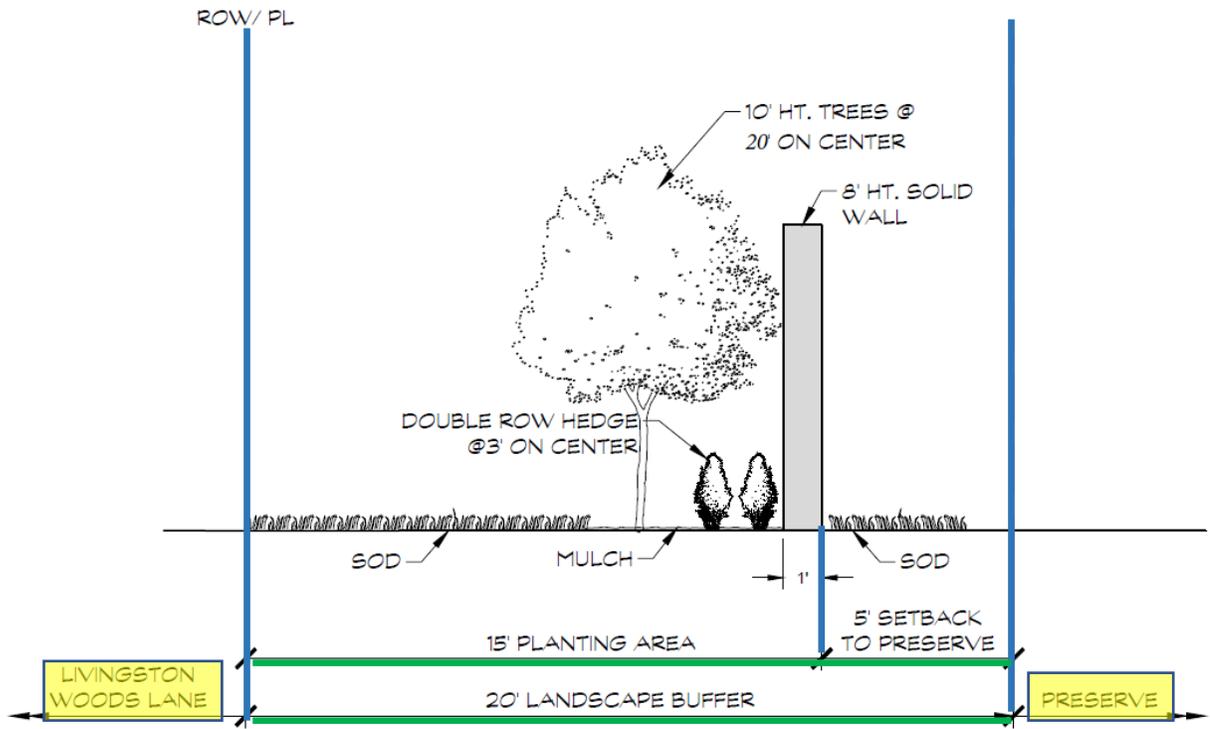
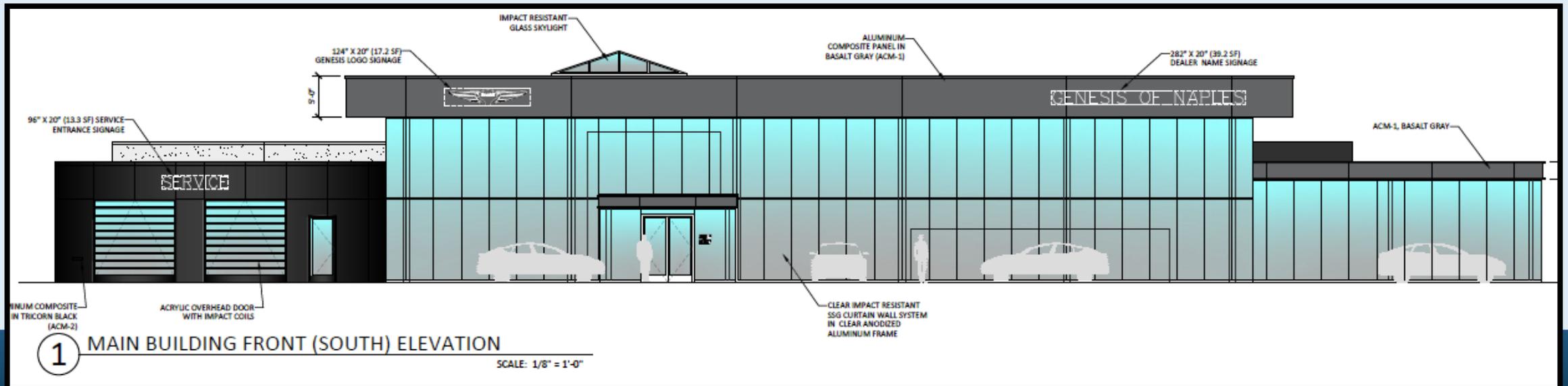


EXHIBIT F-1

NOTE:
100% OF THE TREES AND SHRUBS WILL BE INSTALLED ON THE
NORTHERN SIDE OF THE WALL.

DEVIATIONS

1. Deviation #1 seeks relief from LDC Section 5.06.04.F.4 "Wall Signs," which requires retail businesses to have a floor area larger than 25,000 square feet and a front wall length of more than 200 linear feet to permit a total of 3 wall signs, to instead allow the main sales building, within Commercial Tract A, to have a front wall length of 180 linear feet.
2. Deviation #2 seeks relief from LDC Section 5.06.04.F.4 "Wall Signs," which permits shopping centers, single and multi-occupancy parcels where there is double frontage on a public right-of-way a total of 2 wall signs, to instead allow a total of three (3) wall signs on the main sales building, not to exceed the maximum allowable display area of signs by the LDC, and one (1) additional wall sign on the car wash building, not to exceed 20 square feet, within Commercial Tract A.
3. Deviation #3 seeks relief from LDC Section 5.06.04.F.2.b "Outparcel Signs," which permits a single ground sign for outparcels having a frontage of 150 feet or more, not to exceed 60 square feet, to instead permit a single ground sign up to eight feet in height and 60 square feet for development on each of the Commercial Tracts identified on the PUD Master Plan, regardless of whether the Commercial Tracts are permitted under one unified Site Development Plan.



PRELIMINARY RENDERING



PRELIMINARY RENDERING



CONCLUSION

NEXT STEPS:

- ✓ PUD Application Deemed Sufficient (Staff Review)
- ✓ CCPC and BCC Hearings Scheduled
 - ✓ Written Notice to Property Owners
 - ✓ Newspaper Advertisement
 - ✓ Hearing Signs Posted

CONTACT INFORMATION:

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 - Email: jharrelson@pen-eng.com

- LAURA DEJOHN, AICP – COLLIER COUNTY ZONING DIVISION
 - Phone: 239.252.5587
 - Email: laura.dejohn@colliercountyfl.gov

QUESTIONS?