

LEGEND:

- PROPERTY BOUNDARY
- PROJECT BOUNDARY
- W.R.A.
- LAKE (QUARRY EXCAVATION AREA)
- EXTERNAL ACCESS

PENINSULA ENGINEERING

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 PLANNING AND ZONING • SURVEYING
 ENVIRONMENTAL SERVICES • LAND DEVELOPMENT

2600 Golden Gate Pkwy 239.403.6700
 Naples, FL 34105 Pen-Eng.com

Florida Engineering C.A #28275
 Florida Landscape C.A #LC26000632

PROJECT:

SILVER STRAND MINE

TITLE:

CONCEPTUAL SITE PLAN

CLIENT:

SILVER STRAND III PARTNERSHIP

REVISIONS:

No.	Revision:	Date:

SEC: 14, 15 TWP: 47S RGE: 29E

Designed by: **JOHN ENGLISH, P.E.**

Drawn by: **JASON LIGHTTELL**

Date: **SEPTEMBER 2024**

Drawing Scale: **1" = 3000'**

File Name: **P-SS03-001-001-X17-1.dwg**

Project Number: **P-SS03-001-001**

Sheet ID: **X17-1**

Sheet Number: **01 of 04**

SITE DATA:

TOTAL SITE AREA: 3,937.88 ACRES
CURRENT ZONING: A-MHO-RLSAO AND A-MHO
CURRENT LAND USE: AGRICULTURAL
FUTURE LAND USE: AGRICULTURAL RURAL MIXED-USE DISTRICT RLSAO (SOUTHERN PORTION OF THE PROPERTY)
URBAN MIXED USE DISTRICT-LOW RESIDENTIAL SUBDISTRICT (NORTHERN PORTION OF THE PROPERTY)

GENERAL NOTES:

1. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO MODIFICATIONS.
2. RETAINED NATIVE VEGETATION MAY BE USED TO SATISFY LANDSCAPE BUFFER REQUIREMENTS AFTER EXOTIC VEGETATION REMOVAL IN ACCORDANCE WITH LDC SECTION 4.06.02 AND 4.06.05.E.1. SUPPLEMENTAL PLANTINGS WITH NATIVE PLANT MATERIALS SHALL BE IN ACCORDANCE WITH LDC 3.05.07.
3. THE EXISTING VEGETATION MEETS THE TYPE 'C' BUFFER REQUIREMENTS

PRESERVE:

PER LDC SECTION 3.05.07.B.2, THE SITE DOES NOT REQUIRE A PRESERVE AREA.

OPEN SPACE:

*MINIMUM OPEN SPACE REQUIRED AND PROVIDED = 30%



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PROJECT:
SILVER STRAND MINE

TITLE:
NOTES

CLIENT:
SILVER STRAND III PARTNERSHIP

REVISIONS:		
No.	Revision:	Date:

SEC: 14, 15 TWP: 47S RGE: 29E
Designed by: **JOHN ENGLISH, P.E.**
Drawn by: **JASON LIGHTTELL**
Date: **SEPTEMBER 2024**
Drawing Scale: **N/A**
File Name: **P-SS03-001-001-X17-2.dwg**
Project Number: **P-SS03-001-001**
Sheet ID: **X17-2**
Sheet Number: **02 of 04**

BUILDING SETBACKS

MIN. FRONT AND REAR YARDS: 50'
 MIN. SIDE YARD: 30'
 EXCAVATION: 50'

ZONING

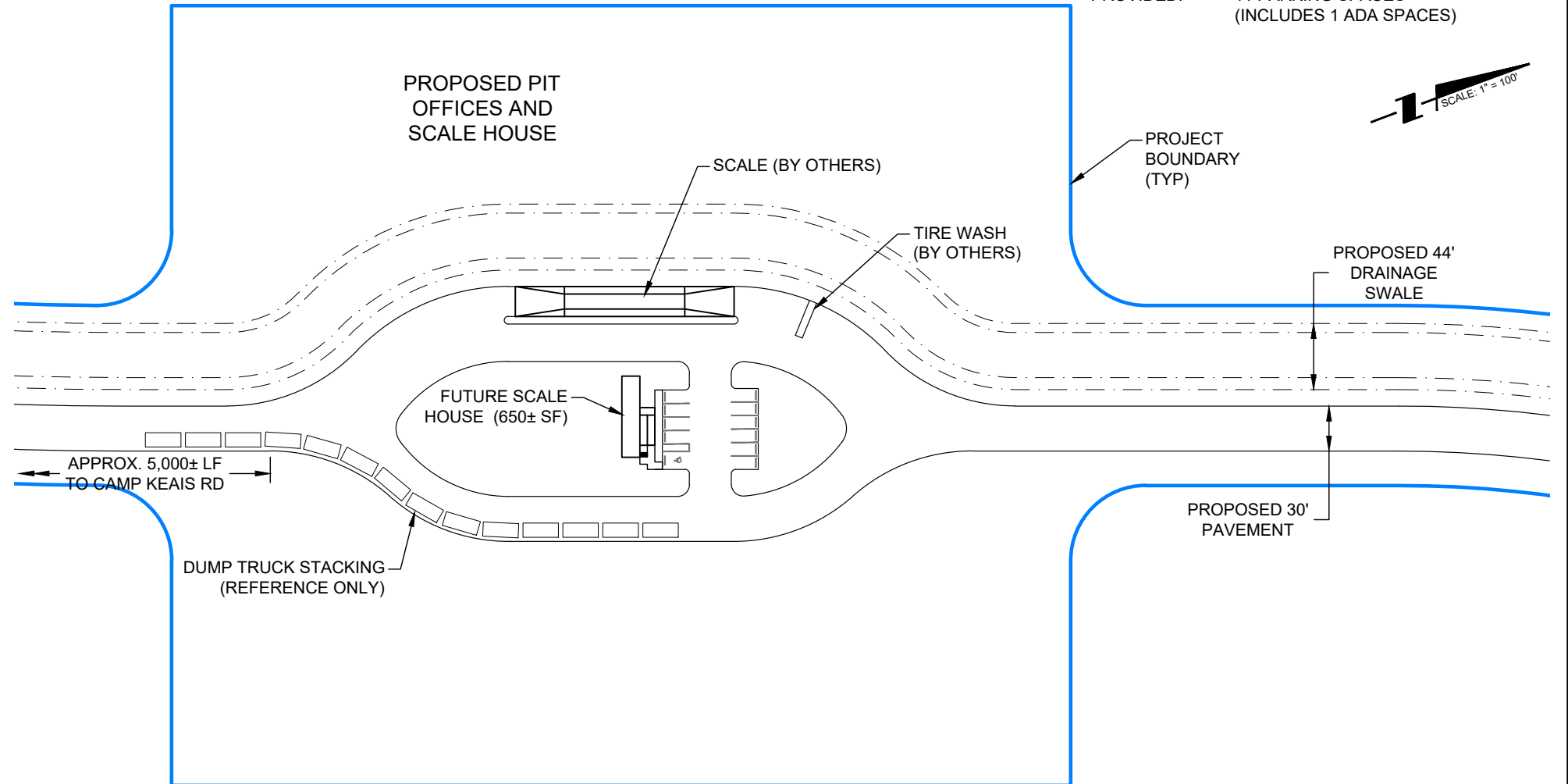
CURRENT ZONING: A-MHO-RLSAO AND A-MHO
 CURRENT LAND USE: VACANT / AGRICULTURAL

PARKING CALCULATIONS

L.D.C. 4.05.04

OFFICE/SCALEHOUSE: 1 PER 300 SF
 HANDICAPPED: 1 SPACE PER 25 REGULAR SPACES
 1 PER 300 SF @ 650 SF = 3 REQUIRED PARKING SPACES

PROVIDED: 11 PARKING SPACES
 (INCLUDES 1 ADA SPACES)



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PROJECT:
SILVER STRAND MINE

TITLE:
PIT OFFICE AND SCALE HOUSE

CLIENT:
SILVER STRAND III PARTNERSHIP

REVISIONS:

No.	Revision:	Date:

SEC: 14, 15 TWP: 47S RGE: 29E
 Designed by: JOHN ENGLISH, P.E.
 Drawn by: JASON LIGHTTELL
 Date: SEPTEMBER 2024
 Drawing Scale: 1" = 100'
 File Name: P-SS03-001-001-X17-3.dwg
 Project Number: P-SS03-001-001
 Sheet ID: **X17-3**
 Sheet Number: 03 of 04

ZONING

CURRENT ZONING: A-MHO-RLSAO AND A-MHO
CURRENT LAND USE: VACANT / AGRICULTURAL

BUILDING SETBACKS

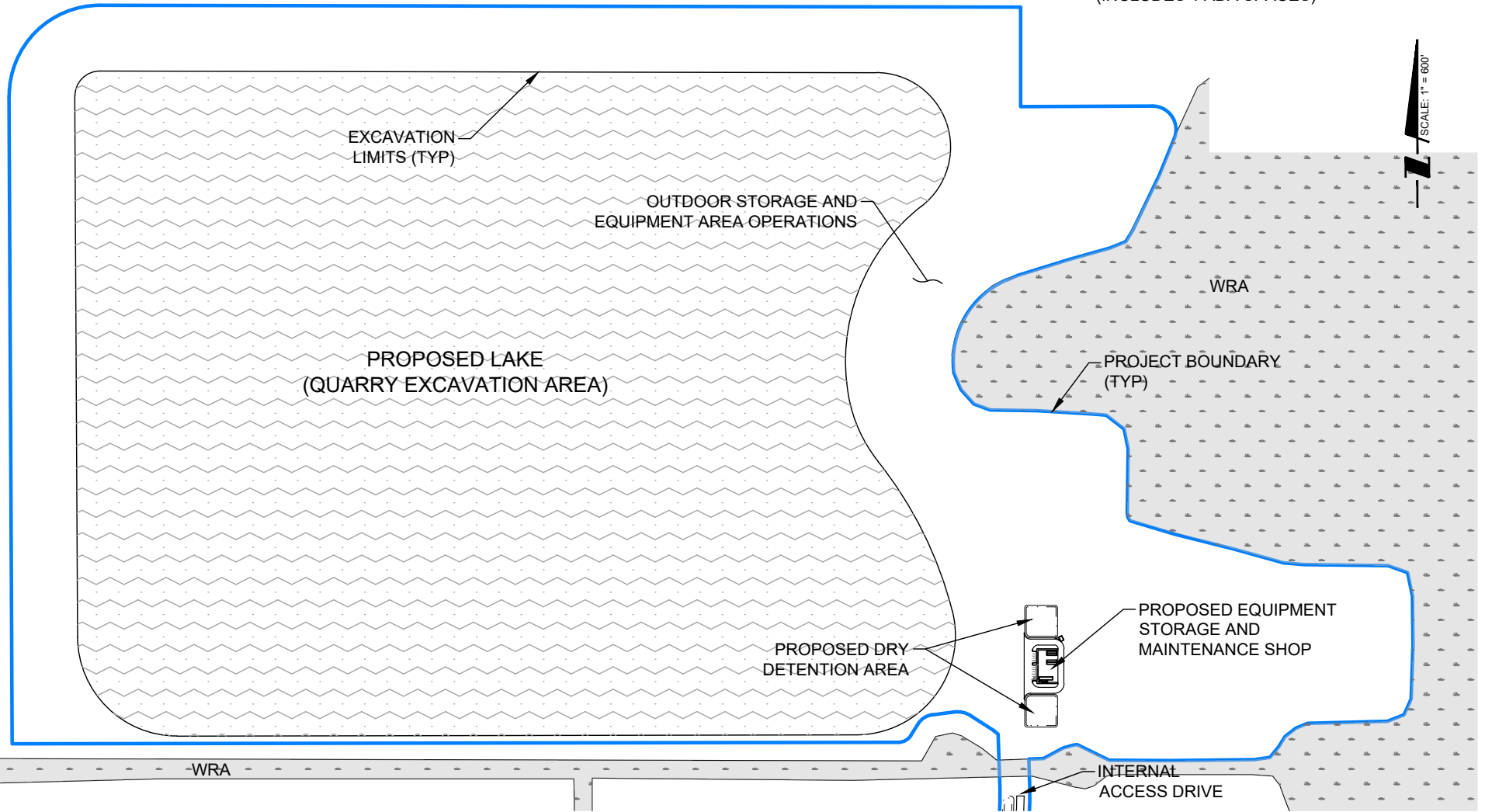
MIN. SIDE, REAR AND ABUTTING PROPERTY LINES: 50'
MIN. FROM ABUTTING RESIDENTIAL: 100'
MIN. FROM PRIVATE ACCESS ESMT: 50'
MIN. SIDE YARD: 30'
EXCAVATION: 50'

PARKING CALCULATIONS

L.D.C. 4.05.04

MAINTENANCE / STORAGE: 1 PER 1000 SF
HANDICAPPED: 1 SPACE PER 25 REGULAR SPACES
1 PER 1000 SF @ 10,400 SF = 11 REQUIRED PARKING SPACES

PROVIDED: 11 PARKING SPACES
(INCLUDES 1 ADA SPACES)



SCALE: 1" = 600'

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PROJECT:
SILVER STRAND MINE

TITLE:
EQUIPMENT STORAGE, MAINT. SHOP, AND EXCAVATION AREA

CLIENT:
SILVER STRAND III PARTNERSHIP

REVISIONS:

No.	Revision:	Date:

SEC: 14, 15 TWP: 47S RGE: 29E
 Designed by: JOHN ENGLISH, P.E.
 Drawn by: JASON LIGHTTELL
 Date: SEPTEMBER 2024
 Drawing Scale: 1" = 600'
 File Name: P-SS03-001-001-X17-4.dwg
 Project Number: P-SS03-001-001
 Sheet ID: **X17-4**
 Sheet Number: 04 of 04

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