

7. Credit Use and Reconciliation Analysis. This Credit Use and Reconciliation Analysis is submitted in order to track the transfer of credits from Stewardship Sending Areas (SSA) 1, 2, 3, 4, 5, 6, ~~and 9, and 13~~ to the Town of Ave Maria SRA. The Analysis provides a summary table that identifies the exchange of all Stewardship Credits.

8. Preliminary SRA Credit Agreement. Finally, an SRA Credit Agreement for those Stewardship Credits needed in order to develop the SRA authorized development is provided. The Agreement sets forth the number of SSA credits the applicant is utilizing in order to implement the Ave Maria Town Plan as included in this application.

The development parameters used throughout these applications are illustrated in different manners depending on the purpose of the particular analysis. Table 1 provides a summary of these parameters.

Table 1 Ave Maria Land Use

Town	4,930 <u>6,946</u> Acres*
Residential	11,000 <u>17,738</u> Units
	8,850 <u>14,304</u> Single Family**
	2,150 <u>3,434</u> Multi Family**
ALF	275 Units
Goods and Services, <u>Total</u>	1,078,943 <u>2,876,343</u> Sq. Ft.
<u>Retail and Office</u>	<u>1,503,943</u> Sq. Ft.
Hotel	300 <u>400</u> Rooms
Civic, Governmental and Institutional	184,000 <u>134,000</u> Sq. Ft.
<u>Hospital</u>	<u>275,000</u> Sq. Ft.
Mini-Warehouse ⁽¹⁾	40,400 Sq. Ft.
Light Industrial/Warehousing	711,000 <u>1,057,000</u> Sq. Ft.
Public Use	998 <u>1,024</u> Acres
University and Ancillary Uses	846 Acres (6,000 university students)
Public School site (s)	47.7 <u>46</u> Acres
Community park in excess of requirement	54.6 <u>73</u> Acres
Fire Station	3.2 Acres
Services District	47 <u>56</u> Acres
Total	5,928 <u>7,970</u> Acres

⁽¹⁾ mini-warehouse use has been constructed in Town Center #3

Acreages include lakes and open space and are rounded to the nearest acre.

* This acreage includes 417.7 acres of open space in excess of the required 35% included at the time of original SRA approval. This excess open space does not require the consumption of credits nor do these acres count toward the maximum acreage for the town.

** May be adjusted up to 10% for each dwelling type not to exceed ~~11,000~~ 17,738 total units and subject to the trip cap.

Statement of Compliance

The development of approximately ~~5,928~~ 7,970 acres of property in Collier County as a Stewardship Receiving Area (SRA) known as the Town of Ave Maria will be in compliance with the goals, objectives and policies of the Rural Lands Stewardship Area Overlay District as set forth in the Future Land Use Element of the Collier County Growth Management based, in part, on the following reasons:

1. Improvements are planned to be in compliance with the applicable land development regulations of the Group 4 Policies of the Rural Lands Stewardship Area Overlay.
2. The projected gross density of ~~1.9~~ 2.2 units per acre is based on gross acreage and is in compliance with Policy 4.7 of the Rural Lands Stewardship Overlay of the Future Land Use Element.
3. The Town of Ave Maria SRA will not encroach into any Flowway Stewardship Area (FSA) or Habitat Stewardship Area (HSA), and the required buffer between the contiguous FSA and HSA will be provided as provided in Policies 4.8 and 4.13.
4. Development activities within the Town of Ave Maria SRA will not occur on lands that receive a Natural Resource Index value of greater than 1.2 as required in Policy 4.9.
5. Open space provided within the Town of Ave Maria SRA will meet or exceed the 35% open space provision as required by Policy 4.10.
6. The Town of Ave Maria SRA has direct access to Oil Well Road, Immokalee Road and Camp Keais Road as required by Policy 4.14.
7. The fiscal impact analysis performed for The Town of Ave Maria SRA indicates that the SRA will be fiscally positive to the Collier County as required by Policy 4.18 and LDC Section 4.08.07 L.
8. Public benefit uses including a site for two public schools, a private post secondary institution and ancillary uses, a fire station, a public utility, and acreage of community parks that exceed the required minimum acreage, will be included within the Town of Ave Maria SRA pursuant to Policy 4.20. The private K-12 school is a public benefit use under the ancillary uses to a private post secondary institution because it will be owned and operated by Ave Maria University and it is a use commonly found on public or private post secondary institution campuses.
9. Consistent with the terms of the Interlocal Agreement between Collier County and Ave Maria Stewardship Community District, all final development orders will be issued in accordance with the concurrency management system in effect at the time of final development order approval.

Executive Summary

This Stewardship Receiving Area (SRA) Designation Application for Ave Maria is filed on behalf of Ave Maria Development, LLLP. Ave Maria will consist of Ave Maria University and The Town of Ave Maria. The cornerstone of Ave Maria will be the University, the first major Catholic university to be established in the United States in more than 40 years. The town area of Ave Maria is designed as a compact, walkable community around a town core which will contain as its landmark, an Oratory of distinctive architecture. In addition, there will be distinctive residential neighborhoods offering a variety of housing types and lifestyles.

This SRA Designation Application, consists of ~~5928~~ 7,970 acres, 846+/- acres of which are dedicated to the University and ~~5082~~ 6,946 acres to the Town, including 178.2 acres for public use (~~47.7~~ 46 acres of public school sites, 3.2 acres for fire station, ~~39~~ 56 acres for Ave Maria Utilities, and ~~54.6~~ 73 acres in excess of requirement for community parks).

Ave Maria University will support 6,000 students, and contains academic and administration buildings, student and administration housing, recreation, sports, and support facilities.

The Town will contain a maximum of ~~11,000~~ 17,738 dwelling units in a mix of residential unit types in the Town Center, and Neighborhood General context zones.

Uses that provide the mix of services to, and are supportive of, the residents of The Town of Ave Maria and university will be mainly located in the Town Core and Town Centers. The Town Core, Town Centers, and Neighborhood Centers will provide a maximum of ~~690,000 square feet of gross leasable retail/service~~, 510,000 square feet of gross leasable office, ~~35,000 square feet of medical facilities~~, 2,876,343 square feet of Goods and Services and ~~350,000~~ 134,000 square feet of gross civic, governmental and institutional uses, ~~600,000~~ Goods and Services include 1,503,943 square feet of retail and office, 1,057,000 square feet of light industrial/warehousing, 40,400 square feet of mini-warehouse, 275,000 square feet of hospital and 400 hotel rooms. In addition, the town will provide public school sites, parks, golf courses, and other open space uses, while Ave Marie University will provide, in addition to the above facilities, private K-8 and high school.

The maximum total daily trip generation for the SRA shall not exceed ~~4,320~~ 5,620 two-way PM peak hour net external trips based on the use codes in the Institute of Transportation Engineers Trip Generation Manual in effect at the time of application for SDP/SDPA or subdivision plat approval.

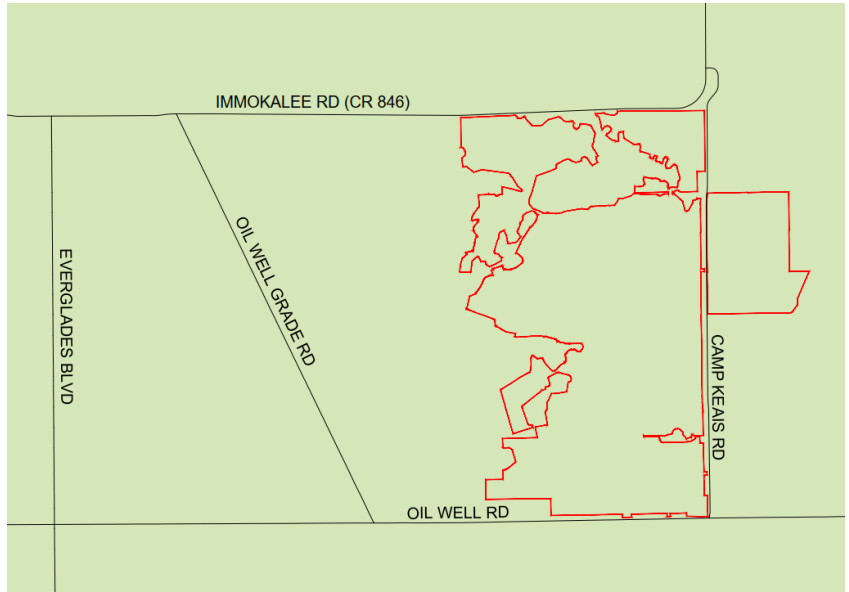
There are few undisturbed native vegetation areas within Ave Maria, and all vegetated areas are subject to ditches, berms, etc. Extensive areas of exotic monocultures (Brazilian pepper) exist across the site. The predominant agricultural land use is evidenced by the absence of any lands which score higher than 1.2 on the Natural Resources Index Map. The Natural Resources Index Assessment quantifies the acreage by land use and demonstrates consistency with the Suitability Criteria, as is seen from the open space percentages

and the Applicant's commitment to provide access to Ave Maria from Immokalee Road, Oil Well Road and Camp Keais Road.

This SRA Designation Application also provides the calculation of the required Credit Use to designate the Town, and demonstrates that the Town consumes ~~28,658.4~~ 36,158.4 Stewardship Credits. The Impact Assessment Report and Economic Assessment Report demonstrate the self-sufficiency of Ave Maria as related to impacted County facilities. This Application contains the Ave Maria Town Plan (SRA Development Document) and Master Plan that set forth the allowable land uses and design standards for Ave Maria.

Introduction

This Ave Maria Town Plan sets forth the design standards for Ave Maria University and Ave Maria Town (herein after referred to as Ave Maria). The land that constitutes Ave Maria is specifically described in Appendix A and contains approximately ~~5928~~ 7970 acres and is owned by Ave Maria Development, LLLP, AMULT, LLC, Ave Maria University, Inc., Thomas S.



Ave Maria general location map

Monaghan Living Trust. Ave Maria is located within the Rural Lands Stewardship Area Overlay District (RLSA) in eastern Collier County, Florida. The RLSA establishes stewardship principles and practices that address three public interests - protecting natural resources, ensuring agricultural viability, and promoting economic diversity while directing growth away from environmentally sensitive areas.

Ave Maria is the first Stewardship Receiving Area designation in Collier County to utilize the sustainable principles set forth in the RLSA. It is located on land where ecological analysis provided within the Natural Resource Index Assessment indicates development suitability. Through the establishment of the first Stewardship Sending Areas (SSA) and Stewardship Receiving Area (SRA), Ave Maria promotes the three cornerstones of the RLSA.

The model for Ave Maria is to both maintain the agricultural heritage and rural character of eastern Collier County and promote the economic viability and diversification in a self sustaining community. The vision is to bring the environmental beauty of Eastern Collier County together with the full educational experience and atmosphere created by a university town.

The Ave Maria Town Plan defines a new development model for Collier County. The Plan is based on the principles of sustainability. One aspect of this Plan that differentiates it from other planned communities (in Florida and elsewhere) is the concurrent development of both a town and a major academic campus.

Ave Maria University (AMU) will be an academic center of international scope. It will be the first major new Catholic university to be founded in the United States in 40 years. The goal of AMU is to build a world class learning and living environment in the heart of rural Collier County. This University will provide SW Florida with greater academic economic opportunities, and will promote life-long education. The overall vision for AMU is to develop a self contained full-time campus. The campus included within this SRA will cover approximately 846 acres (including lakes).

Ave Maria will ~~acquire 36,158.4~~ utilize 52,286.4 Stewardship Credits from SSAs 1, 2, 3, 4, 5, 6 ~~and 9, and 13~~. These SSAs total ~~17,838.2~~ 24,664.3 acres, and are subject to Stewardship Easements which preserve natural resources and protect agricultural activities within these areas by removing the potential for future development. The calculated open space is an estimate based on preliminary planning of some future "neighborhoods." This acreage and the exact number of stewardship credits required to entitle the ultimate development will be subject to recalculation and finalization during the five year evaluation of this SRA. Any adjustments as to required number of credits (whether additional credits or return of credits) will be made as part of that review process.

addition, the University includes a system of pedestrian ways for the use of pedestrians, bicyclists, emergency, and service vehicles, that will link to a community trail system connecting all major land uses.

As shown on the Ave Maria Master Plan, Figure 1, this Ave Maria SRA includes approximately ~~5928~~ 7970 acres. The Master Plan assigns approximately ~~4930~~ 6946 acres of the site to the town and ~~998~~ 1024 acres to public benefit uses, including the university and its ancillary uses, public schools, public utilities, a fire station, and community parks in excess of the requirement. Approximately ~~45~~ 42 percent of the total town area is devoted to lakes and open space.

Ave Maria is organized into five distinct areas - the University District, the Town Core, three Town Centers, Neighborhood General, and the Services District. The Town Core, Town Centers and Neighborhood General are critical components common to a successful town design. These three areas are consistent with the Context Zones defined in the LDC Section 4.08.07. The University District and Services District are "Special Districts" as described in LDC Section 4.08.07. Distinct design principles and standards, specific to the uses within these districts, are provided within this Town Plan. Each of the defined areas within Ave Maria is intended to support a mix of uses.

The specific mix of uses depends upon location, size, and site characteristics. In every case, the goal is to promote a diverse and successful community that provides neighborhoods that meet many lifestyle choices.

The specific design standards applied to each of the areas included on the Master Plan are set forth in the Town Plan chapters that follow, including: University District, Town Core, Town Centers, Neighborhood General and Services District and Community General. Photographs included in this Town Plan are for illustrative purposes and do not establish or regulate design, architectural or landscape standards. Architectural standards for Ave Maria will be in accordance with LDC Section 4.08.00. Landscape design within Ave Maria will complement the architecture and support the mixed use, pedestrian oriented environment. For these reasons, Ave Maria shall be exempt from LDC Section 4.06.03 and 4.06.01. Landscape maintenance standards will be provided at the time of Site Development Plan (SDP) review.

If during the course of Site Development Plan or Plat review unique features of the land or unique project design or special circumstances associated with the land arise and preclude the applicant from meeting any of the remaining applicable requirements of the LDC, the applicant may submit an alternative design which shall be reviewed and approved provided the Zoning Director makes a determination that the intent of the code is being met. Landscape design standards specific to each area within the Master Plan are provided herein.

Development within Ave Maria will be regulated by this Ave Maria Town Plan, and as to matters not addressed in the Town Plan, by those provisions of the Land Development Code (LDC) of Collier County adopted specifically for the Rural Lands Stewardship Area Overlay District, such as Section 4.08.06. of the LDC. Amendments to the Ave Maria Town Plan shall be administered in the manner described in Appendix D. As set forth in the Ave Maria Impact Assessment Report, Ave Maria will provide community infrastructure and maintenance services through its Special District, Homeowners Association, Property Owners Association, Private Utility, or developer. The Special District will be responsible for the construction, operation and maintenance of the transportation, potable water, irrigation water, wastewater, stormwater management and ground water systems within Ave Maria.

Health Care

Naples Community Hospital has committed to provide primary health care for the Town. Initially, this will be in the form of a primary care facility to be located in one of the commercial buildings in the Town Core or Town Center One. Applicant agrees to reserve land in the Town for the expansion of primary care medical facilities as the Town grows to meet the primary medical needs of the community.

Affordable Housing

In consideration of the Town of Ave Maria's commitment to housing that is affordable, one or more of the following options will be selected that equal Five Hundred Eleven (511) Affordable Housing Units:

1. Rental Product (onsite): Affordable Housing Units shall be advertised and rented to households whose income are up to and including 100% of the Area Median Income (AMI) for Collier County and the corresponding rent limits. Income and rent limits may be adjusted annually based on combined income and rent limit table published by the Florida Housing Finance Corporation or as otherwise provided by Collier County. If the vacancy rate exceeds 10% of the total advertised units for ninety (90) days, units may be offered to a non-income qualified renter at the restricted rent limit until such time the vacancy rate falls below 10% whereby vacant units must be advertised and offered to income qualified households at the restricted rent. When a non-income qualified unit becomes available it must be leased to a qualified household until the advertised units are occupied by eligible tenants.

The Affordable Housing Units shall be committed for a period of 30 years from the date of occupancy of the first unit. Pursuant to Collier County Future Land Use Element Policy 4.7.5.1.e., the Affordable Housing Units and

associated neighborhood goods and services and civic, governmental and institutional use square footage shall not be subject to the Traffic Impact Statement, transportation concurrency, and the trip cap for the SRA.

As part of Collier County's required annual monitoring for this SRA, the Developer will provide to Collier County Community and Human Services Division (CHS) an annual report at least forty-five (45) days prior to the anniversary of the adoption of this SRA that provides the progress and monitoring of occupancy of income restricted units. The annual report would be provided in a format approved by CHS. Developer further agrees to annual on-site monitoring by the County

2. Rental Product (identified off-site parcels): The Landowner has identified the following off-site locations that may be used to meet this Affordable Housing option. The Affordable Housing Units will be subject to the same terms as outlined in Section 1 above.

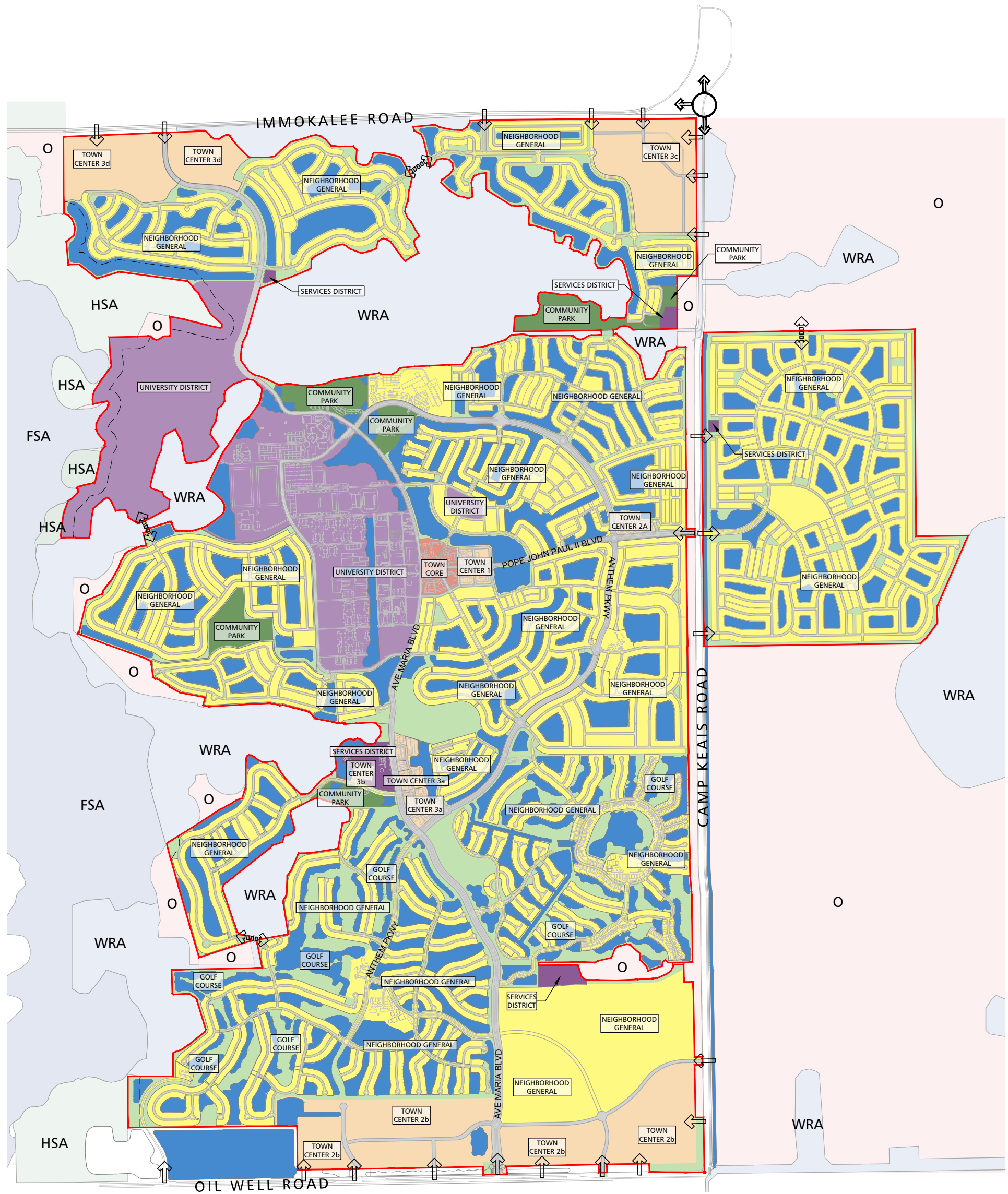
a. Parcel ID Number 00116640008: 10.4-acres (+/-).

b. Parcel ID Number 00137640003: 35.0-acres (+/-).

c. Parcel ID Number 00074080001: 8.0-acres (+/-).

3. Land Bank: Land that is "Proximal" to the SRA shall be identified for the development of housing that is affordable on one or more parcels totaling allowing for a minimum of 511 dwelling units. The land shall be rezoned and sold to County within 48 months of the approval of the SRA Amendment (PL20240012290) by the Board of County Commissioners. The value of the land will not exceed \$22,500 an acre. If located within the RLSA Overlay, the proximal land bank parcel(s) shall follow the process established in Section 4.08.07.F.4., paragraphs a. and b and shall be considered a part of the SRA. The Affordable Housing parcel(s) will be considered as a Public Benefit Use and shall not require the use of Stewardship Credits. Pursuant to Collier County Future Land Use Element Policy 4.7.5.1.e. the Affordable Housing Units and associated neighborhood goods and services and civic, governmental and institutional use square footage shall not be subject to the Traffic Impact Statement, transportation concurrency and the trip cap for the SRA. If the proximal land bank parcel(s) is located outside of the RLSA, the Board of County Commissioners recognizes that a small-scale comprehensive plan amendment may be required. For the purposes of this commitment, "Proximal" shall mean within 10 miles of the SRA and within Collier County.

4. As an alternative to 1-3 above, the Landowner may enter into a developer agreement with Collier County to address the affordable housing needs for the Town.



Land Use Summary	
--- 300' FSA / HSA Buffer	
University District	846 Acres
Town Core	24 Acres
Town Centers	731 Acres
Neighborhood General	5,985 Acres
Services District	56 Acres
Community Parks	154 Acres
Other	174 Acres
Total	7,970 Acres

Symbol Legend

⇒ Access Point

↔ Potential Interconnection

NOTE: All new access points will be considered and approved as part of Plat/SDP approvals and may be subject to change when adjacent public roadways are improved or modified

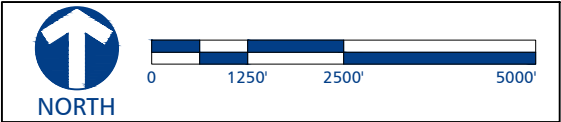


Figure 1

SRA Master Plan

(Revised January 2025)

Town Plan

University District

Key Features:

6,000 Students

Academics

Sports and Recreation

Student Housing

Golf Course

K-12 School

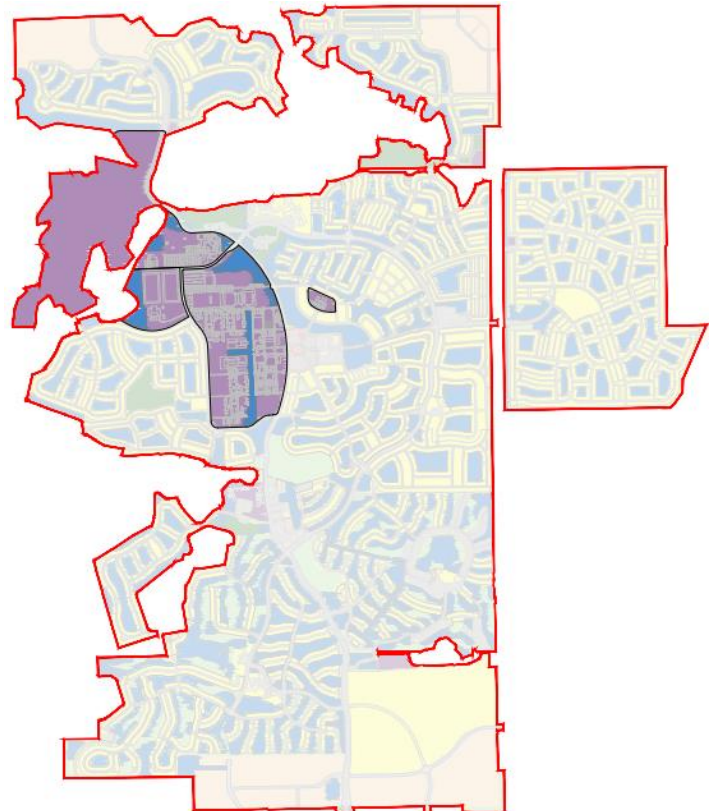


Artist rendering of AMU library.

The Ave Maria University program includes campus related academic, administration, and support facilities, various religious facilities such as chapels and spiritual places for worship, institutional foundations, indoor recreation and athletic complexes, areas for golf, outdoor recreation and sporting events, student housing, dining facilities, exhibition and conference facilities, faculty/staff housing, entertainment venues, Christmas light show, and golf course.

Ave Maria University will provide the opportunity for intercollegiate and active athletic facilities in SW Florida. The Town will share access to selected University related sports facilities, sports fields, athletic training equipment, and sports programs. In addition, specific events will be created to attract and foster family interaction within the broader community, such as unique exhibition hall events, 4-H Club activities, a petting zoo, and many other civic and cultural events.

Pedestrian ways link the town and University District uses and provide safe and comfortable access for students and faculty, as well as access for service and emergency vehicles.



Private School

Front setback: 10 Ft.

Side setback: 25 Ft.

Rear setback: 25 Ft.

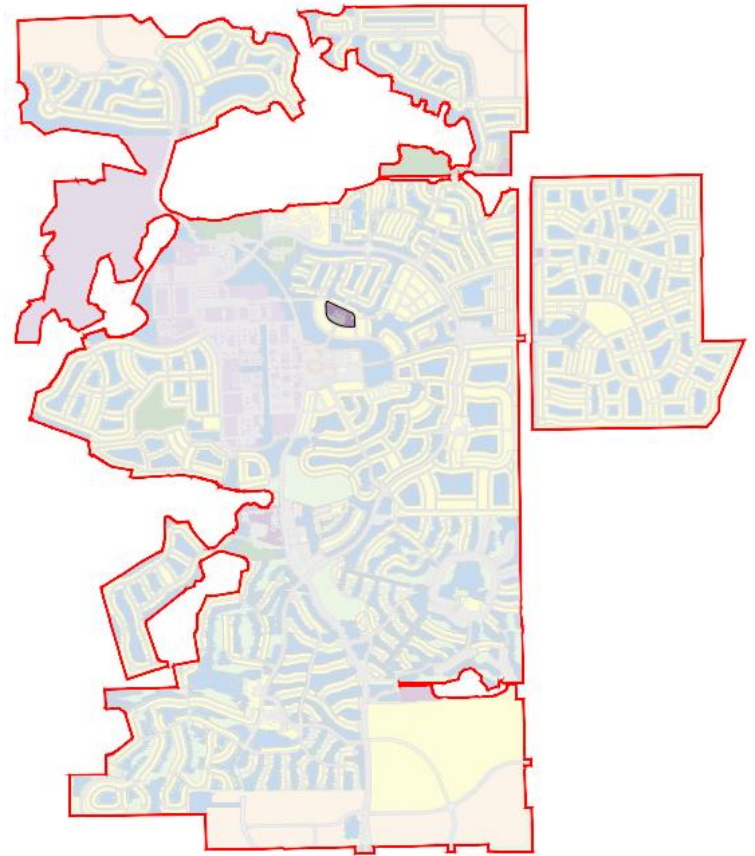
Height: 3 1/2 Stories

FAR: 1

Parking Requirements: 5 off-street parking spaces per 4 staff/faculty

Encroachments: Porches, stoops, chimneys, bay windows, canopies, balconies and overhangs may encroach into the setbacks. Steps shall not be considered to be an encroachment. The minimum distance between buildings shall be 10 Ft. Allowable encroachments are an exception to this requirement.

Landscape: Minimum of 100 Sq. Ft. of shrub plantings per 2,000 Sq. Ft. of building footprint, and one tree per 4,000 Sq. Ft. of lot area, inclusive of street trees, and a minimum caliper of 1 1/2". Minimum of turf grass for the remainder of the property. Plantings shall be in planting areas, raised planters, or planter boxes.
Street trees and minimum parking lot planting applies.



University District

Private School

Town Plan

Town Core

Key Features:

Ave Maria Oratory

Civic Center

Shared-use buildings

The Town Core is connected to the University by the extension of the University Green and the Ave Maria Oratory. It is the focal part of town, establishing the “municipal” place of Ave Maria. The building placement, streetscape, hardscape, lighting, site furnishings and landscape plantings reflect the structure and organization of a civic downtown. Broad sidewalks extend from the face of building to the curb line, trees line the streets, benches and newspaper vending are available between street trees.

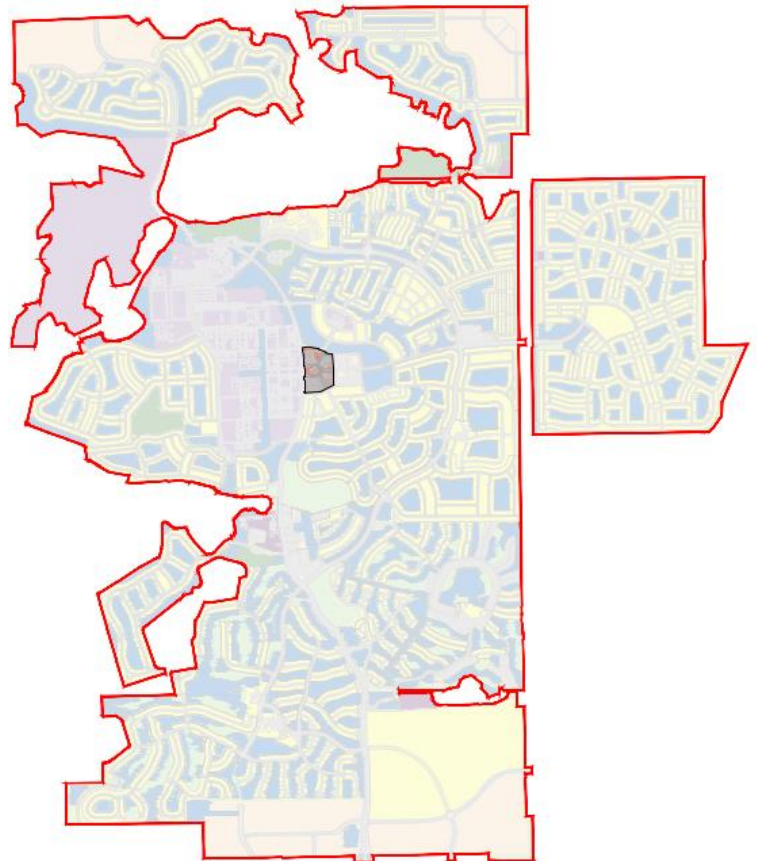
A mix of retail, office, civic, light industrial, institutional and residential uses are integrated throughout the Town Core to create a walkable community. Buildings are encouraged to be built to the right-of-way line to create a continuous street facade. Blocks within the Town Core are



Shared use buildings provide a mix of uses within the Town Core



The Town Core provides shopping and other uses



Town Center 1

Key Features:

Main Street

Shared-use buildings

Residential

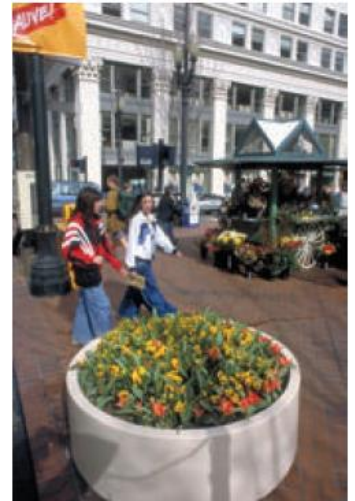
The Town Center 1 is the extension of Main Street moving east from the Town Core and the Oratory Plaza. As the Town Core is the civic center of town, the Town Center is the place where offices, retail shops and residential units mix and energize the area. The focus is linear with a strong emphasis on pedestrian orientation. Main Street, a long straight space open at both ends, is surrounded by retail store fronts.

This plan addresses the scale and massing of buildings and the character of the pedestrian experience. Buildings are encouraged to be built to the right-of-way line to create a continuous street facade. Building density is lower in Town Center 1 than in the Town Core, and blocks within Town Center 1 are also lined with buildings and street trees to create street corridors. Buildings front onto streets with off-street parking located behind the building.

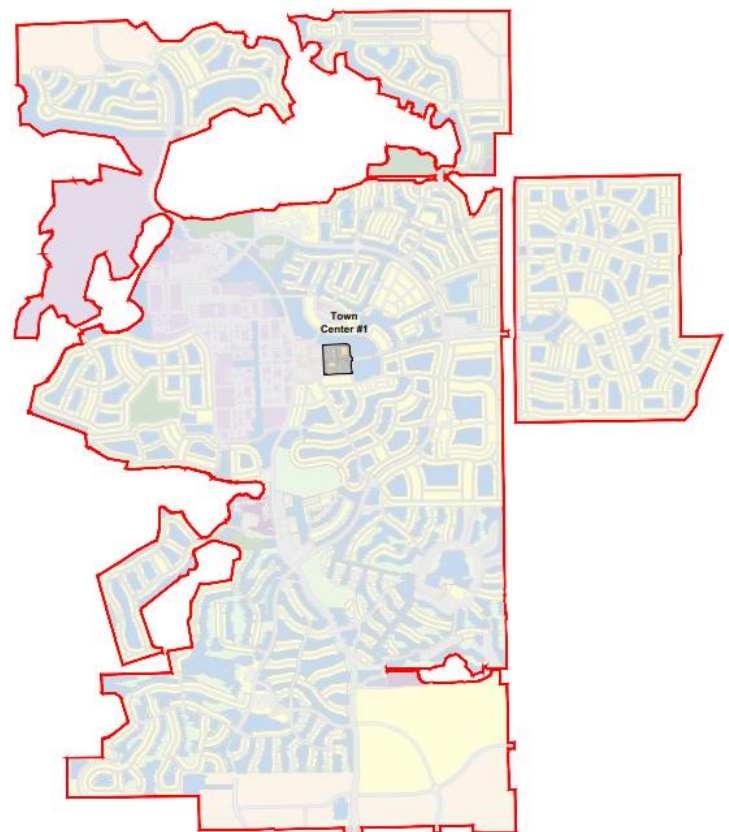
Most Town Center streets support two-way traffic and on street parking on both sides of the street. Sidewalks are wide to encourage pedestrian movement and are separated from the street by a planting zone. Building



Common Main Street Design



Pedestrian Plaza



Town Center 1

Introduction

Town Plan

Town Center 2 and 3

Key Features:

Mixed Use

Shopping

Employment

Wellness

Residential



Town Centers 2 and 3 will provide a diversity of opportunities for a variety of businesses. Retail, service, residential and employment opportunities will be abundant. In Town Centers 2 and 3 businesses will feel they are part of a real and growing town - one that combines all the benefits of a quiet, close-knit neighborhood with the enriching environment of a major university.

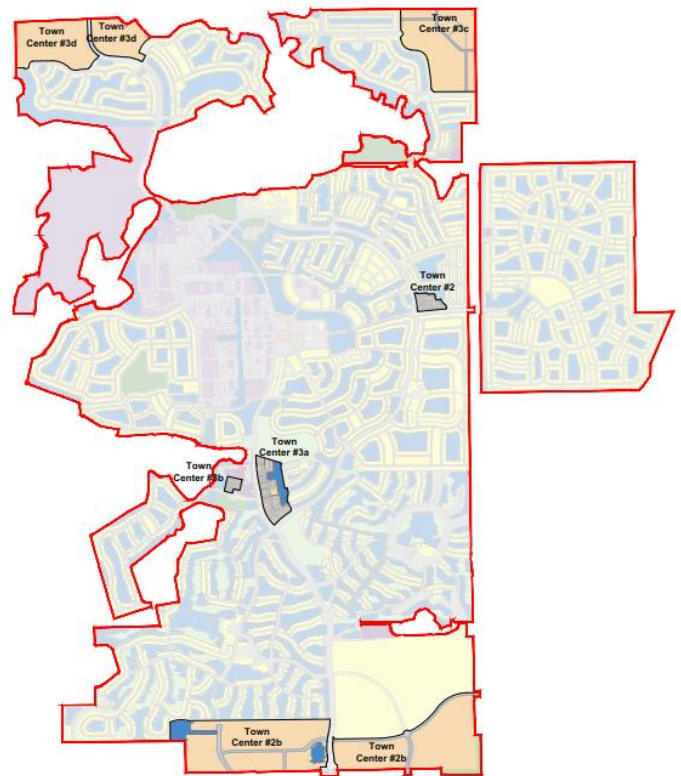
A wide variety of shopping needs will be met through local, national and regionally recognized stores. In short, Town Centers 2 and 3 will provide residents opportunities to find everything they need in close proximity to their homes.

Streets and drives in Town Centers 2 and 3 will maintain the pedestrian quality found throughout Ave Maria. Tree lined sidewalks will provide a buffer and shade to those walking within the Town Centers.

The photographs, graphics, and diagrams are schematic and do not represent any actual pictures, designs, product



Pedestrian shading from buildings and canopy



Town Center 2 & 3

Introduction

Town Plan

Other Retail and Non-Residential Uses

Light Industrial, Fabrication, Retail, Showrooms, and Distribution

Buildings will be permitted when showroom/retail/office portion of building spans complete frontage or appropriate façade articulation returns no less than 15 Ft. deep along side elevations.

Retail use shall be limited to 30% of building use. Parking for buildings with retail oriented to the street shall be permitted in front of buildings with maximum setback of 100 Ft. from right-of-way. Balance of parking shall be distributed along sides and rear.

Minimum Front Setback: 0 Ft., no maximum setback

Minimum Side Setback: 0 Ft.

Minimum Rear Setback: 0 Ft.

Maximum Height: 4 stories

Parking shall be permitted within front, side, and rear setbacks.

Office/Medical Uses/Recreation Uses/Wellness Uses/Retail/Hotel/Motel

Buildings will be permitted in Town Centers 2 & 3 for office, medical or wellness uses, recreation, retail or hotel/motel uses. Parking will be permitted in all setbacks, and there shall be no minimum or maximum setbacks required.

Minimum Front Setback: 0 Ft., no maximum setback

Minimum Side Setback: 0 Ft.

Minimum Rear Setback: 0 Ft.

Maximum Height: 4 stories

Parking shall be permitted within all setbacks.



Building with parking in front, side, and rear setback.



Wellness/medical/office building. No maximum setback. Parking in front, side and rear.

A Single Family Attached Cottage Court is a group of rear loaded attached houses on individual parcels that front on adjacent streets or on shared greenspace. Vehicular access is provided via a 24' wide access easement across the rear of the lots with a maximum length of 150'.

Min. Lot Area: 3,300 Sq. Ft.

Min. lot width at front setback: 35 Ft.

Min. Lot Depth: 100 Ft.

Min. Front Yard Setback: 10 Ft. for principal and accessory structures to external streets; 5 Ft. to shared greenspace.

Min. Side Yard Setback: 0 Ft. one side; 5 Ft. other side for principal and accessory structures. Minimum 10 Ft. separation between principal structures.

Min. Rear Yard Setback: 15 Ft. for principal and accessory structures.

Maximum Height: 2½ Stories for principal and accessory structures

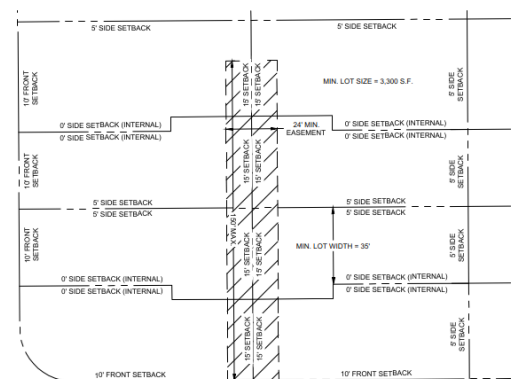
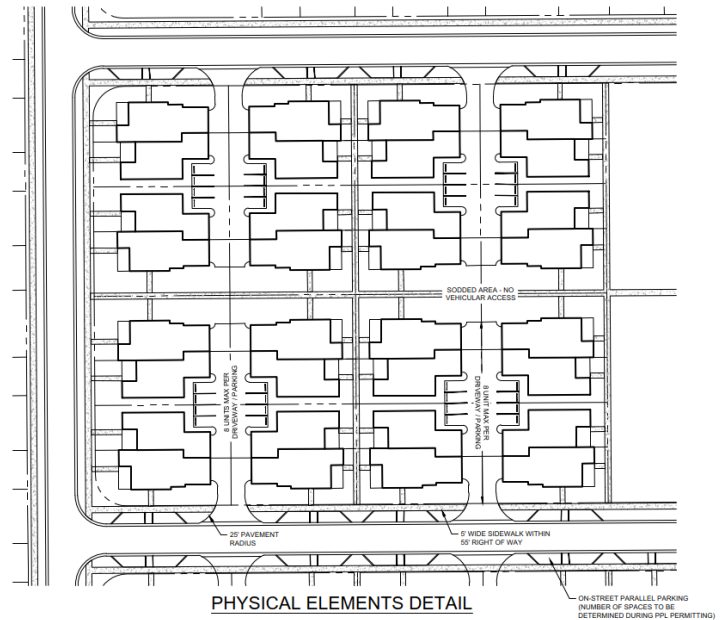
Residential Parking: Two off-street parking spaces per unit (inclusive of garage space) shall be provided. Additional guest parking may be provided within the access easement..

Accessory Structures and Uses: Accessory structures and uses may include freestanding carports, covered parking, garages, community facilities, recreation buildings and other similar uses.

Encroachments: Porches, stoops, chimneys, bay windows, canopies, balconies and overhangs may encroach into the front yard up to 50 percent of the total setback. Fences and walls may encroach into any yard up to the property line. Fencing and walls may not exceed 7 Ft. in height. Fence and wall materials may consist of wood, iron, vinyl, or masonry. Steps shall not be considered to be an encroachment.

Landscape: Minimum of 60 Sq. Ft. of shrub plantings per lot. Minimum of turf grass for the remainder of the property.

Plantings shall be in planting areas, raised planters, or planter boxes around the perimeter of the dwelling.



DEVELOPMENT STANDARDS DETAIL

Neighborhood General

Key Features:

Mixed Use

Shopping

Employment

Wellness

Residential

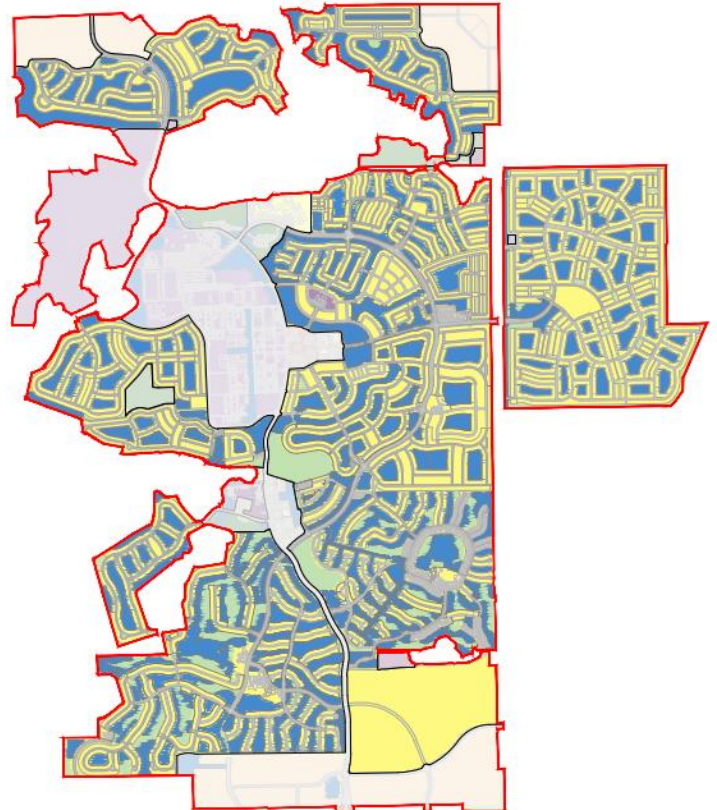


Neighborhood Park

A broad mix of residential lot sizes and housing types anchor the Neighborhood General. Each neighborhood is characterized by a distinctive and consistent architectural design, and a community focus element. Neighborhood centers, parks and plazas are places where people will meet in formal or informal situations. The location of such facilities where people can cross paths is a key to a sense of neighborliness. Each neighborhood may contain an appropriately scaled center of neighborhood related goods and services including small workplaces, civic/institutional, and neighborhood retail and office buildings.

Neighborhoods are planned in close proximity to town centers, schools and community parks to encourage pedestrian activity. The neighborhood streetscapes are designed to support a walkable environment, with sidewalks separated from the street by a planting zone. There is a hierarchy in the Town with regard to commercial uses, from Town Core to the Town Centers to the Neighborhood Centers to Local Neighborhood Goods and Services.

Neighborhood Centers may be relatively large and are centrally located within neighborhoods to encourage interaction. These will house facilities such as fitness and recreation centers, clubhouses, limited retail, office



Neighborhood General

Introduction

Town Plan

A Single Family Attached Cottage Court is a group of rear loaded attached houses on individual parcels that front on adjacent streets or on shared greenspace. Vehicular access is provided via a 24' wide access easement across the rear of the lots with a maximum length of 150'.

Min. Lot Area: 3,300 Sq. Ft.

Min. lot width at front setback: 35 Ft.

Min. Lot Depth: 100 Ft.

Min. Front Yard Setback: 10 Ft. for principal and
accessory structures to external streets; 5 Ft. to shared
greenspace.

Min. Side Yard Setback: 0 Ft. one side; 5 Ft. other side for principal and accessory structures. Minimum 10 Ft. separation between principal structures.

Min. Rear Yard Setback: 15 Ft. for principal and accessory structures

Maximum Height: 2½ Stories for principal and accessory structures

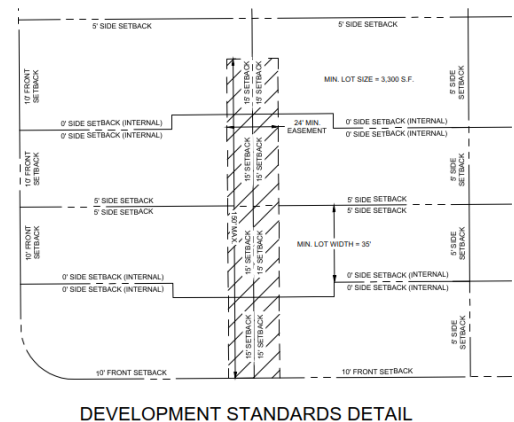
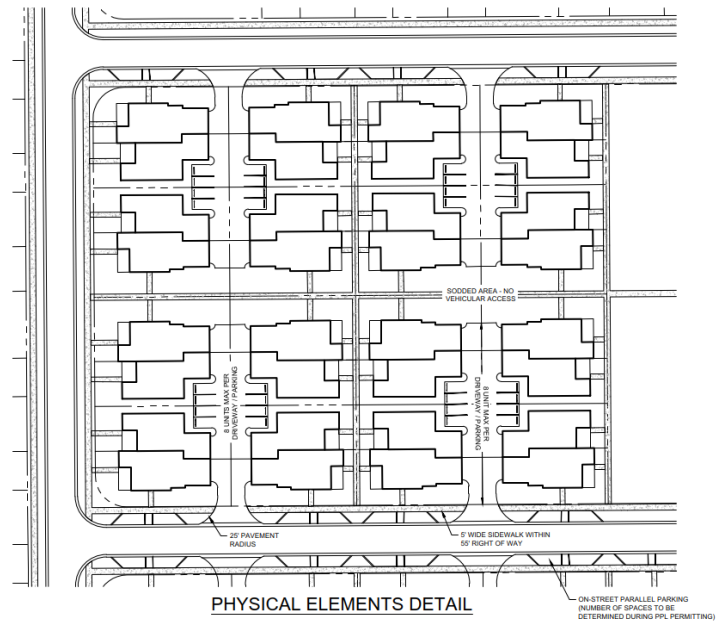
Residential Parking: Two off-street parking spaces per unit (inclusive of garage space) shall be provided. Additional guest parking may be provided within the access easement.

Accessory Structures and Uses: Accessory structures and uses may include freestanding carports, covered parking, garages, community facilities, recreation buildings and other similar uses.

Encroachments: Porches, stoops, chimneys, bay windows, canopies, balconies and overhangs may encroach into the front yard up to 50 percent of the total setback. Fences and walls may encroach into any yard up to the property line. Fencing and walls may not exceed 7 Ft. in height. Fence and wall materials may consist of wood, iron, vinyl, or masonry. Steps shall not be considered to be an encroachment.

Landscape: Minimum of 60 Sq. Ft. of shrub plantings per lot. Minimum of turf grass for the remainder of the property.

Plantings shall be in planting areas, raised planters, or planter boxes around the perimeter of the dwelling.



Public Schools

Min. Front Setback:

- 0 Ft. for principal structures
- 10 Ft. for athletic fields and courts
- 20 Ft. for sports field light poles, scoreboards, grandstands and bleachers

Min. Rear Setback: 20 Ft. for primary structures and 5 Ft. for accessory structures.

Max. Building Height: 3½ Stories

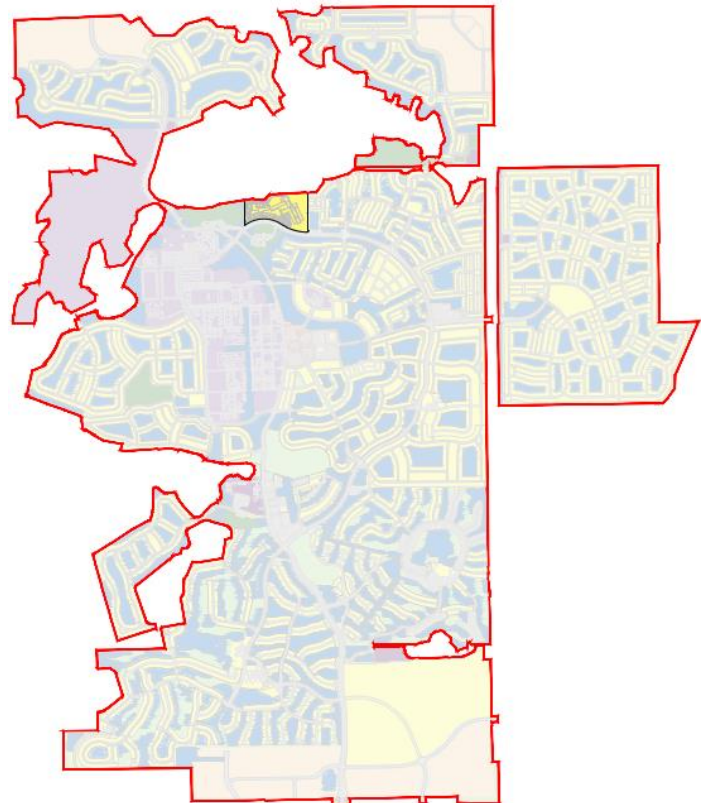
Max. Accessory Architectural Features: 55 Ft. above ground level

Parking:

- Minimum 5 spaces per 4 staff/faculty
- Parking may be provided on-street or off-street
- No additional parking spaces are required for individual uses not specifically defined above.

Loading and Refuse:

- Loading docks, solid waste facilities, recycling facilities and other service elements shall be placed to the rear or side yard of the building in visually unobtrusive locations with minimum impacts on view.
- Refuse containers and facilities shall be hidden by an opaque wall or fencing of sufficient height to screen the bin and any appurtenances, but no less than 5 Ft. in height, chain link fencing is not acceptable. Walls shall be constructed of a material compatible with the principal structure it is serving. Enclosures shall include opaque gates. Trash containers serving non-residential uses shall not be located abutting residential property.
- Service area recesses in the building and/or



Neighborhood General

Public Schools

Town Plan

Neighborhood Centers

Neighborhood Centers provide a central location for neighborhood facilities such as a clubhouse, fitness and recreation uses, and limited retail, restaurants, office and institutional uses. Neighborhood Centers have specific non-residential permitted uses that have been identified in Appendix C. The general locations of proposed large scale Neighborhood Centers within the Town of Ave Maria are illustrated in the graphic below. The locations of these proposed centers can be adjusted during the Site Development Planning process, provided all criteria applicable to Neighborhood Centers are met. Neighborhood Centers shall meet the following locational/maximum square footage criteria:

1. Centrally located within a neighborhood
2. 1/4 mile separation from another Neighborhood Center
3. Maximum square footage per retail or office use is 5,000, and a total maximum of 25,000 Sq. Ft. of retail and office. Total Neighborhood Center square footage allowed is 75,000 per location.

Min. Front Setback: 0 Ft.

Min. Side Setback: 10 Ft.

Min. Rear Setback: 20 Ft. for primary structures
and 0 Ft. for accessory structures

Max. Building Height: 3 ½ Stories

Max. Accessory Height Architectural Features:

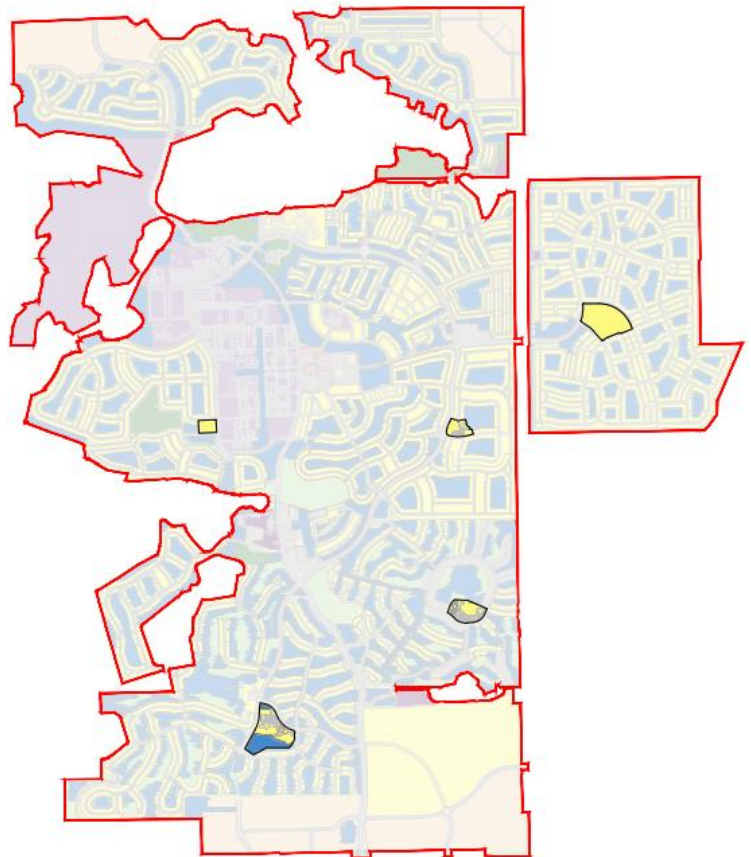
60 Ft. above ground level

Parking:

- There shall be one on-street or off-street parking space for each 400 Sq. Ft. of floor area. On-street parking must be provided along the lot street frontage.

Neighborhood Centers Loading and Refuse:

- Loading docks, solid waste facilities, recycling facilities and other service elements shall be



Services District

Key Features:

Utility Services

The Services District is a special district within Ave Maria. This District is located away from the central community in order to maintain the necessary security and compatibility for the types of uses permitted within the District. Particular attention has been given to the security measures necessary to protect the utility uses within the Services District.

This section of the Town Plan addresses design standards related to the Services District, stormwater management lakes, streets, open space and parks.

Land Uses

Uses in this district will provide for the essential services and other community uses for Ave Maria. The detailed list of uses is included on the Ave Maria Permitted Use Matrix, Appendix C.

Lot Sizes

Minimum lot width: None

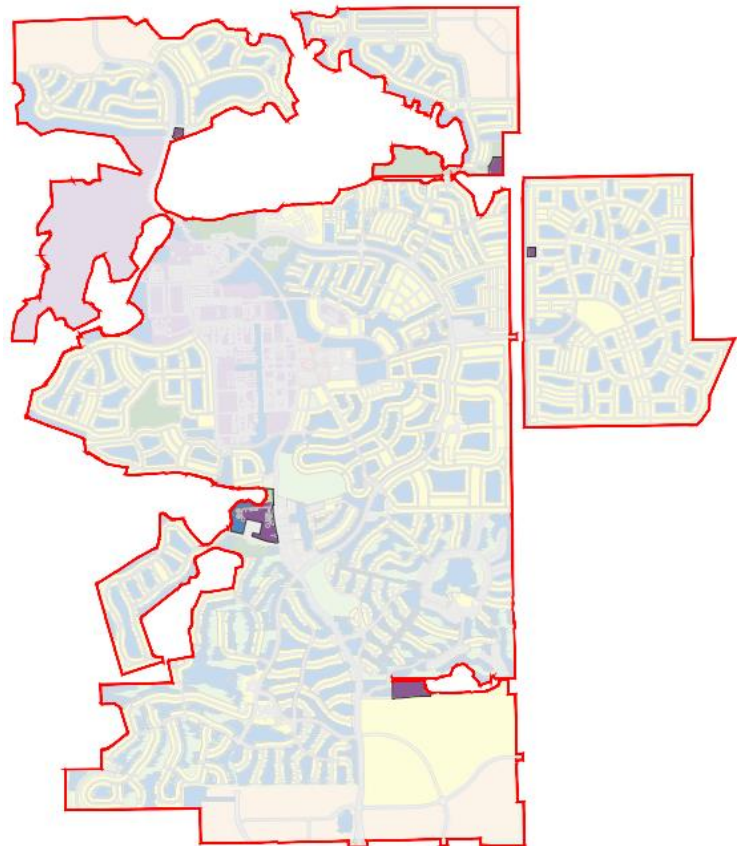
Minimum lot area: None

Lighting: Lighting shall be limited to the amount and intensity necessary for safety and security of the District uses. All exterior lighting within 50 Ft. of the District perimeter shall be full cut-off fixtures with the light source fully shielded.

Parking: Minimum of one space per 500 Sq. Ft. of administrative office and minimum of one space per employee of largest work shift.

Setbacks

Minimum setback from District perimeter: 25 Ft. for primary structure, 10 Ft. for accessory structures. Minimum distance between buildings:
Per all applicable fire codes.



Services District

Key Features

Town Plan

within the Public Right-of-Way of Collier County

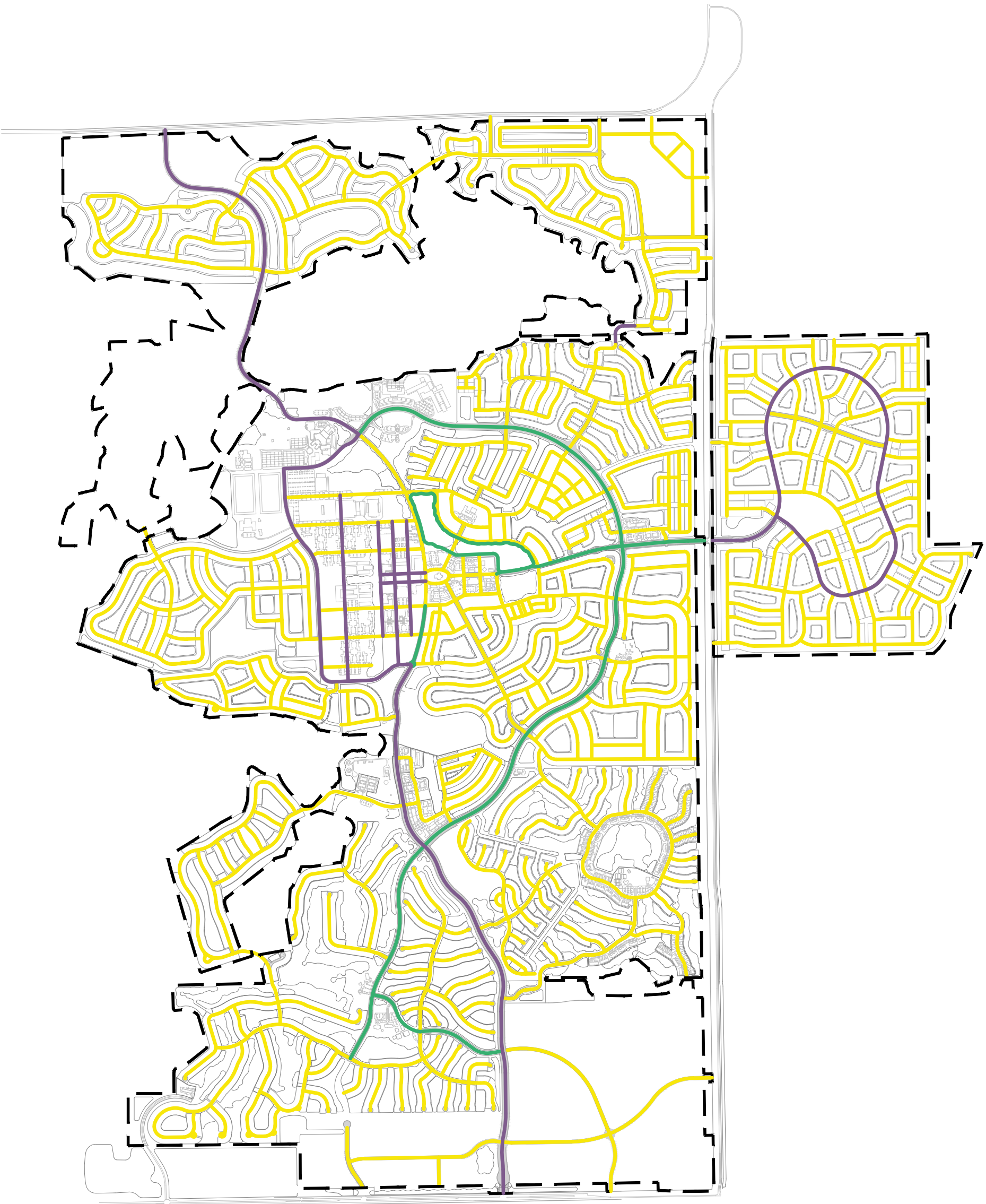
- In an effort to further encourage pedestrian traffic, the intersection right-of-way lines are not required to be radial at intersections and may be angular.
- Traditional subdivision design will incorporate the interconnected pedestrian networks to provide numerous route choices for pedestrians.

Mobility Plan

Ave Maria shall adhere to the Internal Master Mobility Plan and shall include the following:

- Sidewalks and pathways shall be provided along Town Streets as depicted on the Town of Ave Maria Street Cross Sections and Figure 2, Potential Pedestrian Network Map/Mobility Plan.
- A transit station or park and ride area will be located within the Town Center, or a nearby park area, to serve as a connection point for internal and external public transportation.
- At time of SDP or PPL, as applicable, connections between the various modes of transportation will be identified to ensure interconnectivity within the SRA and to external transportation links.
- Golf carts/low-speed vehicles will be allowed on roads and streets within Ave Maria, with the exception of designated portions of Ave Maria Boulevard, Anthem Parkway and Pope John Paul II Boulevard, where they are to be operated on designated sidewalks at least 8 feet wide (Ord 2016-14, as amended). The Ave Maria Stewardship Community District shall make a Golf Cart Drivers Handbook available to Town residents.
- All roads are to be privately maintained, unless dedicated to and accepted by Collier County as a public roadway.
- The SRA will comply with the requirements of the American with Disabilities Act (ADA) to accommodate travel for persons with limited mobility and allow for the incorporation of support facilities and necessary infrastructure for the use of micro-mobility vehicles, autonomous vehicles, and vehicle electrification.

-



Legend

8' SIDEWALKS

12' PATHS

5' - 6' SIDEWALKS

SRA BOUNDARY

NORTH

0

1250'

2500'

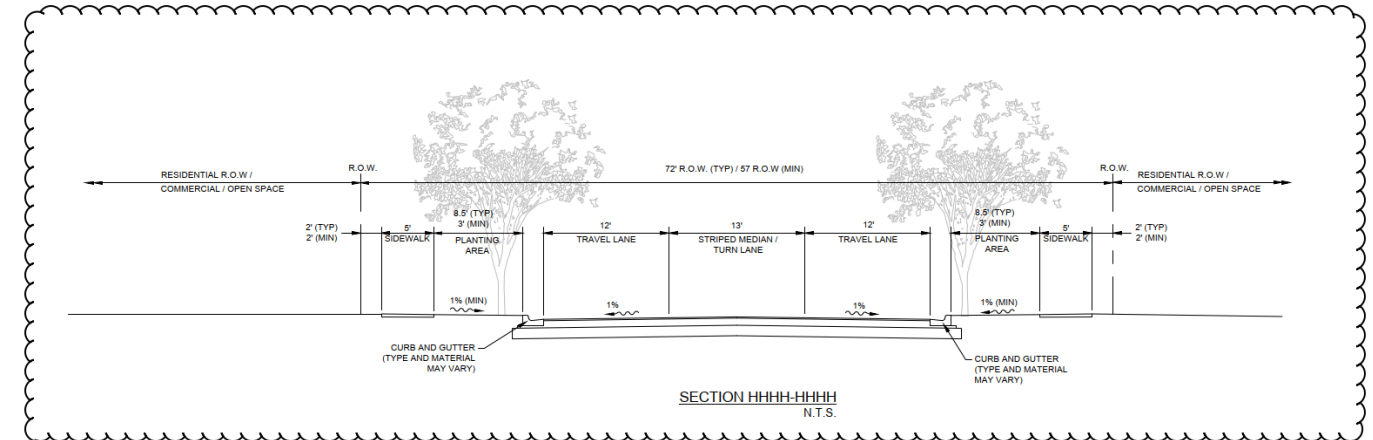
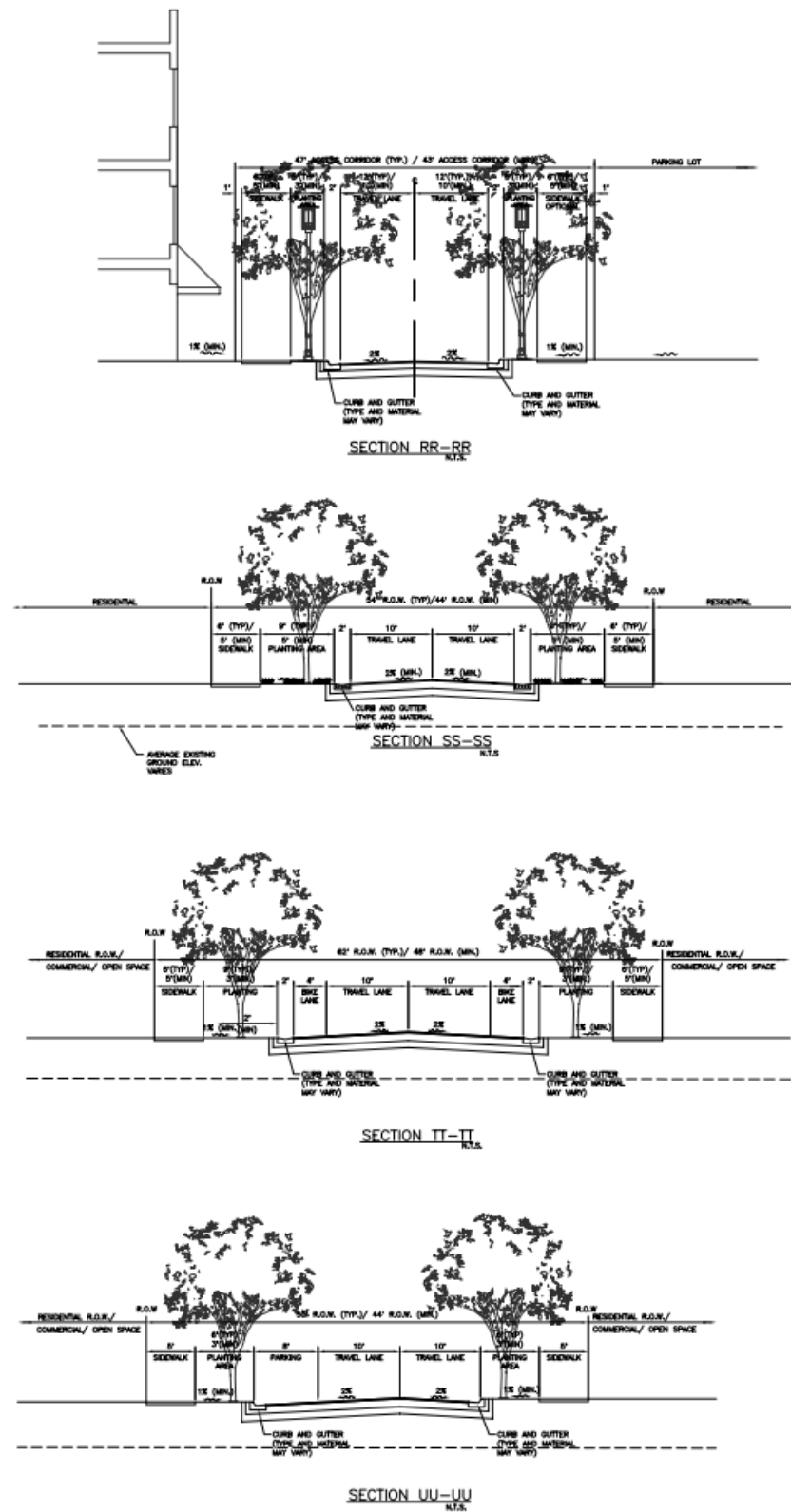
5000'

Figure
2

Potential Pedestrian Network Map / Mobility Plan

(Revised January 2025)

Town Plan



Street Cross Sections for Town Core, Town Centers and Town Collectors

Resource Parks

Resource Parks are spaces that are designed to enhance wetland edges and upland habitats. Resource Parks add value for the community as public green space. They are intended to be enjoyed through observation and interaction with nature, leading to increased awareness through interpretive educational signage. Amenities include boardwalks, site furnishings and signage.



Community park with playground shaded by a canopy of trees

Community Parks

Active Community Parks are designed to accommodate a range of programmed outdoor activities. A designated space for athletic fields/courts, suitable for team sports leagues. Facilities may include field boundary markings and fencing, tennis courts, swimming pools and water activities, playgrounds, softball backstops, concession stands, indoor recreation and meeting space and offices, equipment storage facilities, and lighting.

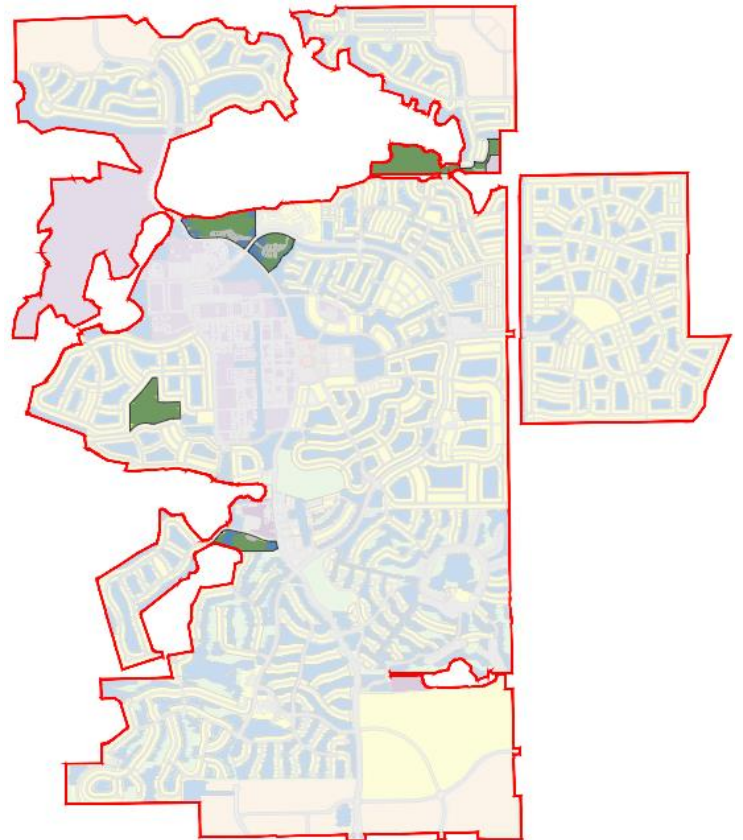
Design Standards For All Parks:

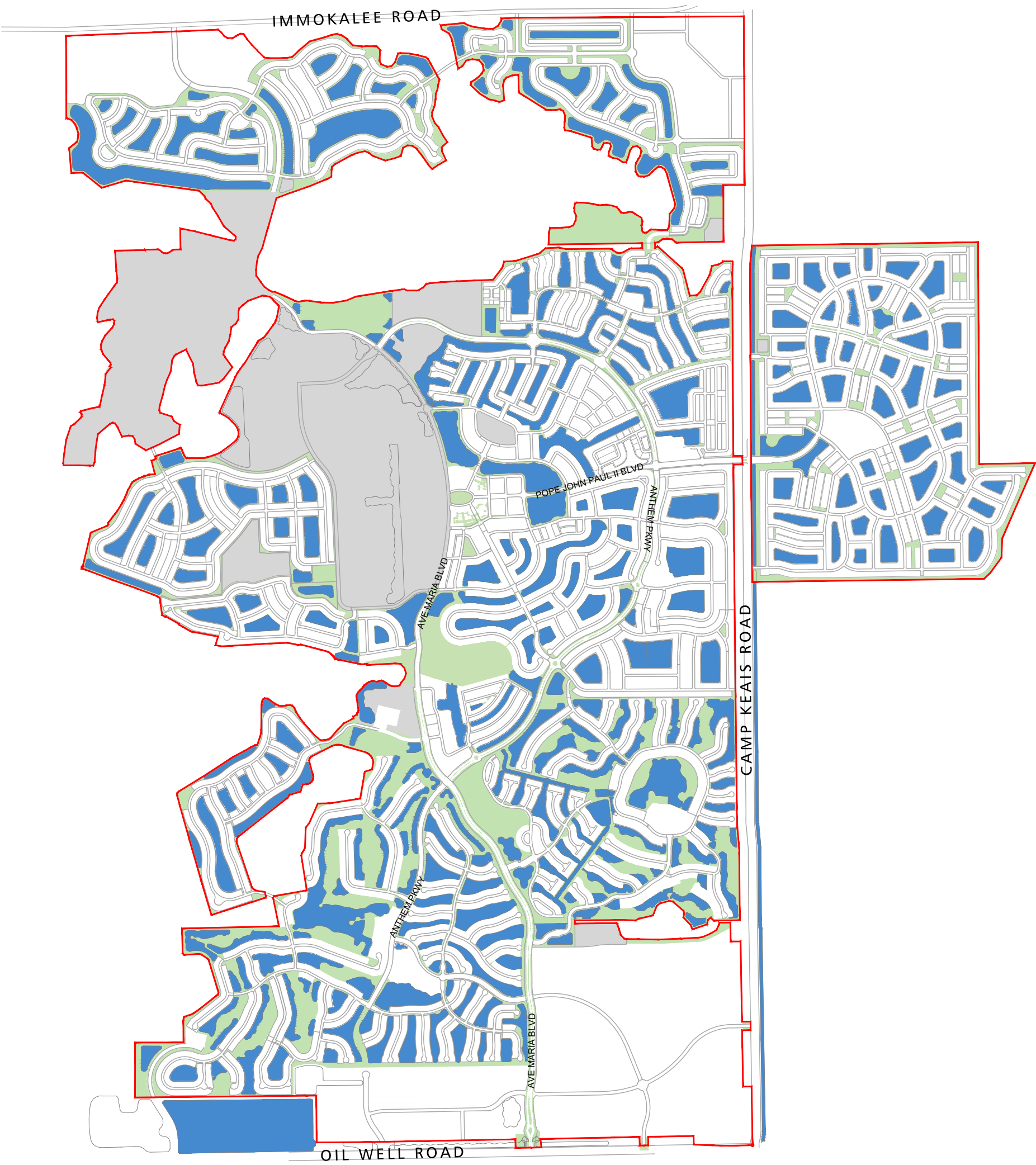
Parks shall be designed to meet the following standards.

Min. Front Setback:

- 0 Ft. for principal structures
- 10 Ft. for accessory structures
- 5 Ft. for all incidental structures
- 20 Ft. for sports field light poles
- Refer to Community General Accessory/Incidental Structures section for additional standards.

Min. Rear Setback: 20 Ft. for primary structures and 5 Ft. for accessory structures.





Ave Maria Town	6,963 Acres
Lakes + Open Space	2,902 Acres (41.7%)*
Public Benefit Use	1,007 Acres
SRA Total	7,970 Acres

* The calculated open space is an estimate based on preliminary planning of some of the future "neighborhoods." The acreage of open space includes the lakes and green space shown on this exhibit, as well as open space within individual lots and development tracts. Open space as defined by the LDC includes preserved native vegetation; lawns, landscaped areas and greenways; outdoor recreation facilities; plazas, atriums and courtyards; and areas that are not occupied by buildings, impervious parking areas, streets, driveways or loading areas.

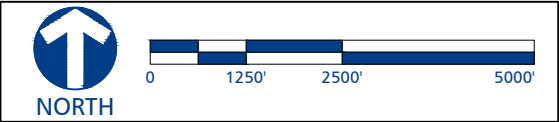


Figure
3

Open Space Exhibit

(Revised January 2025)

Town Plan

- Setbacks from internal road ROW may be zero Ft. (0 Ft.).
- Each entrance sign may not exceed a height of 30 Ft. above the finished ground level of the sign site. For the purpose of this provision, finished grade shall be considered to be no greater than 18 In. above the highest crown elevation of the nearest road, unless the wall or monument is constructed on a perimeter landscape berm.

Main Neighborhood Entry Signs: At each main entrance to any residential, commercial, office, industrial, or community general facility, three ground or wall-mounted signs (two on either side of entry and one in median) may be located at each entrance. Such signs may contain town name, insignia, or logo

- Access to public roads.
- No sign face area may exceed 200 Sq. Ft. and the total sign face area of Main Neighborhood Entry Signs may not exceed 200 Sq. Ft. If the sign is a single, two-sided sign, each sign face may not extend beyond 100 Sq. Ft. in area. The sign face area shall not exceed the height or length of the wall or monument upon which it is located.
- Setbacks from internal road ROW may be zero Ft. (0 Ft.).
- Entrance signs may not exceed a height of 20 Ft. above the finished ground level of the sign site. For the purpose of this provision, finished grade shall be considered to be no greater than 18 In. above the highest crown elevation of the nearest road, unless the wall or monument is constructed on a perimeter landscape berm.

Internal Neighborhood Entry Signs: At each internal entrance to residential, commercial, office, industrial, or community general facility, two ground or wall-mounted signs (on either side of entry) may be located at each entrance. Such signs may be used to identify the location of neighborhoods, districts, recreation areas, university, etc. ~~No building permit is required.~~

- No sign face area may exceed 300 Sq. Ft. and the total sign face area of Internal Neighborhood Entry Signs may not exceed 600 Sq. Ft. If the sign is a single, two-sided sign, each sign face may not extend beyond 150 Sq. Ft. in area. The sign face area shall not exceed the height or length of the wall or monument upon which it is located.

- Setbacks from internal road ROW may be zero Ft. (0 Ft.).
- Entrance signs may not exceed a height of 12 Ft. above the finished ground level of the sign site, except as noted below. For the purpose of this provision, finished grade shall be considered to be no greater than 18 In. above the highest crown elevation of the nearest road, unless the wall or monument is constructed on a perimeter landscape berm. Entrance signs for the neighborhood located on the east side of Camp Keais Road may be placed on an incidental tower structure not exceeding 35' in height.

Directional or Identification Signs: Directional or identification signs may be allowed internal to Ave Maria. Such signs may be used to identify the location or direction of approved uses such as sales centers, model centers, recreational uses, information centers, or the individual components of the development. Individual signs may be a maximum of 6 Sq. Ft. per sign face area or signs maintaining a common architectural theme may be combined to form a menu board with a maximum size of 64 Sq. Ft. per sign face area and a maximum height of 8 Ft



Directional signs help with wayfinding

- Real estate signs are allowed, with a maximum size of 6 Sq. Ft. per sign face area in residential districts. Such signs may advertise “For Sale”, “Sold To”, “Lot #”, etc. No building permit is required.
- Setbacks from internal road ROW may be zero Ft. (0 Ft.).

Temporary Signs: Temporary signs may be permitted and may consist of the following types: project identification, boundary marker, construction related real estate, sales center identification, and directional.

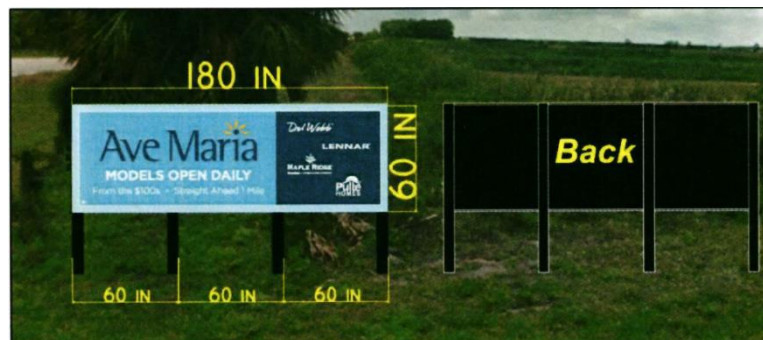
- Each sign may not exceed 160 Sq. Ft. in area, and the total sign face area of a temporary sign may not exceed 320 Sq. Ft. If the sign is two-sided, each sign face may not exceed 320 Sq. Ft. in area.
- Temporary signs may not exceed 20 Ft. in height above the finished ground level of the sign site.
- Temporary signs may remain in place simultaneously with permanent signage until the project reaches 99% build-out.

Appendix G

Deviations from the Land Development Code (LDC)

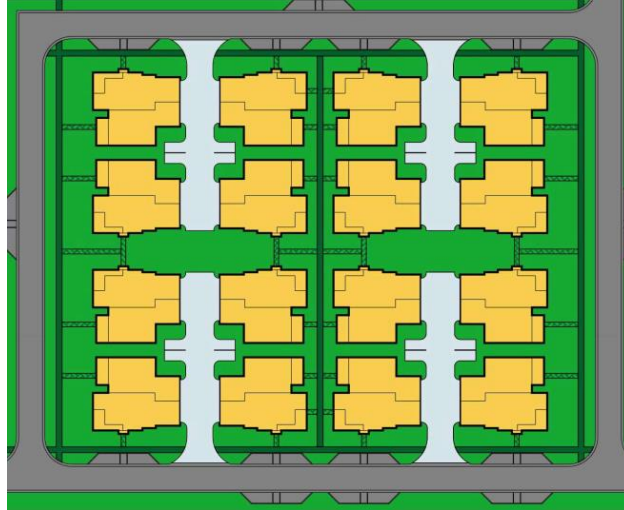
Deviation #1: Relief from LDC Section 4.08.07J.2.d.iii.e)i), Town Design Criteria (Neighborhood General), which requires multi-family residential lots shall be a maximum of 4 acres, to instead allow multi-family residential lots to be a maximum of 25 acres. This deviation applies to the Neighborhood General context zone.

Deviation #2: Relief from LDC Section 5.06.04.G., Off-Premise Directional Signs, which requires that the sign may be located no more than 1,000 feet from the building, structure or use for which the sign is displayed, to instead allow an off-premises sign to be located on the north side of Oil Well Road approximately 4,500 feet outside of the Town of Ave Maria SRA boundary.



Deviation #3: Relief from LDC Section 4.06.02.C. and Table 2.4., Buffer Requirements, which requires landscape buffers between residential developments to instead require no buffer between residential subdivisions or developments in the Neighborhood General context zone or in the Town Center 2b context zone that are internal to the SRA. This deviation shall only apply to properties identified in Appendix G-1 – Deviation Location Map, or developed after [date of ordinance adoption]. (NOTE: This deviation is being pursued by PL20250002891 and is provided for reference only).

Deviation #4: Relief from LDC Section 4.03.08.A.1., Street System, which requires access to lots within a subdivision to be provided by the use of local streets to instead allow Cottage, Single-Family Attached product to allow lots with frontage on a shared greenspace and vehicular access to be provided by a 24-wide access easement located at the rear of the lot.



Deviation #5: Relief from LDC Section 5.05.08.F.2.b., Off-street Parking Design Standards, which requires commercial buildings or projects that require a minimum of 80 parking spaces but that provide more than 120 percent of the required parking to provide at least twenty (20) percent of the vehicular use area as interior landscaping areas to instead allow Hospitals to provide internal parking lot landscaping consistent with the Town Center 2 and 3 requirements.

Deviation #6: Relief from LDC Section 4.08.07.J.2.d.iii.f)iv), Town Design Criteria, which limits non-residential uses within the Neighborhood General context zone to no more than 3,000 sf per use and 15,000 sf per location to instead allow a proposed 9,000 sf sales center to be converted to an approved Neighborhood General Goods and Services use. This deviation shall only apply to a Sales Center facility located within the Neighborhood General context zone on the east side of Camp Keais Road.

Deviation #7: Relief from LDC Section 5.06.04.G., Off-Premise Directional Signs, which limit signs to no more than 12 sf in sign area and no more than 1,000 feet from the use for which the sign is displayed, to instead allow off-premise signs with 32 sf of sign area per sign to be located on the east side of Camp Keais Road approximately 4,000 and 8,500 feet south of the Neighborhood General context zone located east of Camp Keais Road.

Deviation #8: Relief from LDC Section 5.06.02.B.14., Boundary Marker Sign, which allows a boundary marker sign or monument at each property corner with a maximum height of 8' and maximum sign area of 24 sf to instead allow an incidental tower structure to serve as a boundary marker at the corner of Camp Keais Road and Oil Well Road with a maximum zoned height of 35' and a maximum 156.25 sf of sign area per side with a total sign area of 625 sf. The Boundary Marker may be located within the SRA northwest of the intersection or in an off-site sign easement northeast of the intersection.

